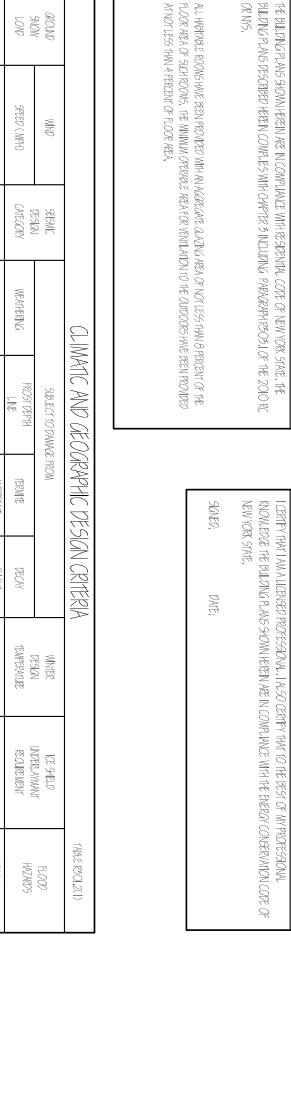
ARMONK LL#

REHAB ATION

SPRUCE I ARMONK, NEW Y HILL YORK 10504



GENERAL NOTES

querring aspercy.

II. No substitutions will be accepted unless submitted in writing to ARCHTECT/OWNER 8 approved by ARCHTECT/OWNER

IZ. Contractor shell provide proper protection for all existing work, timethings and fixtures likely to be damaged. When the existing work, they shell be covered with watertight protection at the end of the day's work.

IZ. Patch, repair and replace all existing walls, ceilings and floors damaged due to new construction.

I.4. Starting time and completion for construction is to be coordinated with Owner and agreed upon by both parties. IS. Con the without any unreasonable obday. If a delay is to occur, notification to the Owner shell be required.

PROJECT NAME:

WATER DISTRICT NO.2
WINDMILL # 1
REHABILITION

ARMONK, N.Y. 10504

SPRUCE HILL

ADDRESS:

Michael Piccirillo Architecture

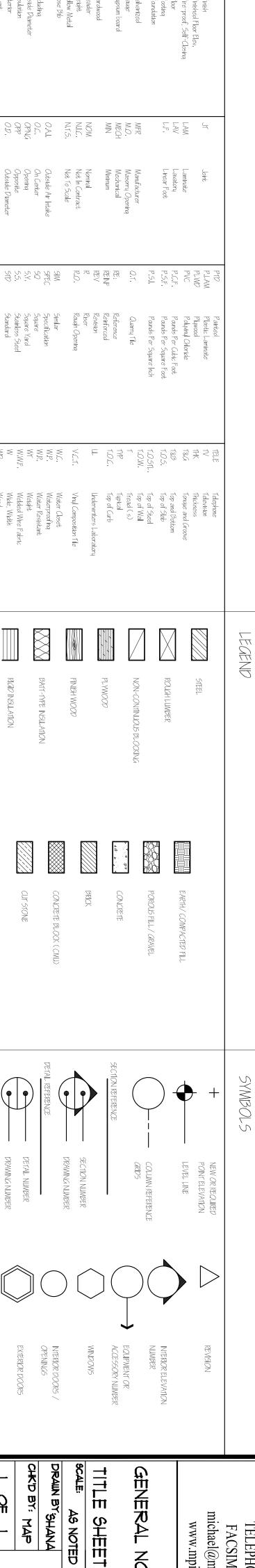
DOOR SYMBOL

NEW WALLS TO BE CONSTRUCTED,
SEE BUILDING SECTION FOR DETAILS EXISTING WALL TO REMAIN

EXISTING DOOR TO REMAIN.

NEW DOOR TO BE INSTALLED





NOTE:
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ABBREVIATIONS

SHRUB OAK, NEW YORK 10588
962 EAST MAIN STREET
MICHAEL A PICCIRILLO, AIA

michael@mpiccirilloarchitect.com www.mpiccirilloarchitect.com TELEPHONE: 914-368-9838 FACSIMILE: 914-368-9839

GENERAL NOTES	

CHKD BY: MAP	DRAWN BYSHANA	SCALE: AS NOTED	
	•	D DATE: 8-11-11	

INTERIOR DOORS , OPENINGS

GENERAL ROOFING NOTES

I, PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS, OF THE NEW CONSTRUCTION. ALL DISCREPANCIES BETWEEN FIELD VERIFIED CONDITIONS, DIMENSIONS, AND ELEVATIONS INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE ARCHITECT IN WRITING.

3. INSTALL ALL NEW ROOFING IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS AND MANUFACTURER'S INSTALLATION SPECIFICATIONS. 4. PROVIDE ALL ACCESSORIES, MATERIALS, FASTENERS, ETC FOR COMPLETE ROOF INSTALLATION. 2, ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL CODES AND AUTHORITES HAVING JURISDICTION.

5. ALL ROOF PENETRATIONS TO BE MADE WATERTICHT AS PER DETALS AND ROOF MANUFACTURER'S SPECIFICATIONS, REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS.

REPLACING IN KIND EXTENSIVELY DETERIORATED OR MISSING PARTS OF ROOF FEATURES OR ROOF COVERINGS WHEN THERE ARE SURVIVING PROTOTIVES SUCH AS CUPOLA LOUVERS, DENTILS, DORNER ROOFING; OR SLATES, TILES, OR WOOD SHINGLES ON A MAIN ROOF, THE NEW WORK SHOULD MATCH THE OLD IN DESIGN, COLOR, AND TEXTURE AND BE UNOBTRUSIVELY DATED TO GUIDE FUTURE RESEARCH AND

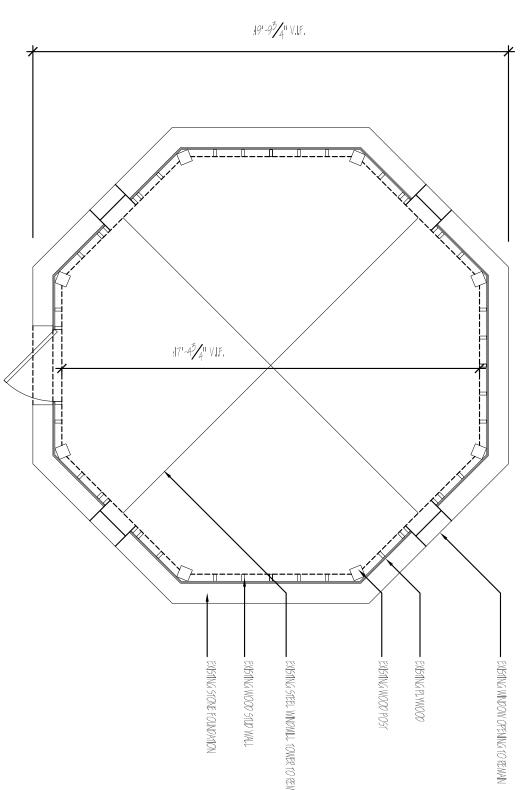
Protect and maintain wood features by providing proper drainage so that water is not allowed to stand on flat, horizontal surfaces or accumulate in decorative features.

"Apply chemical preservatives to wood features such as beam ends or outrippers that are exposed to decay hazards and are traditionally unpainted.

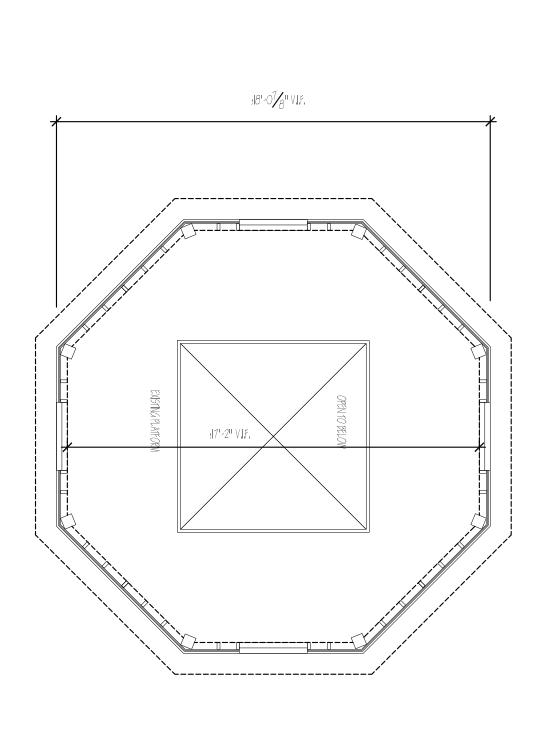
-Protect and maintain the masomy, wood, and architectural metals that comprise entrances and porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

Repair entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind--or with compatible substitute material--of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, comices, entablatures, columns, ETC.

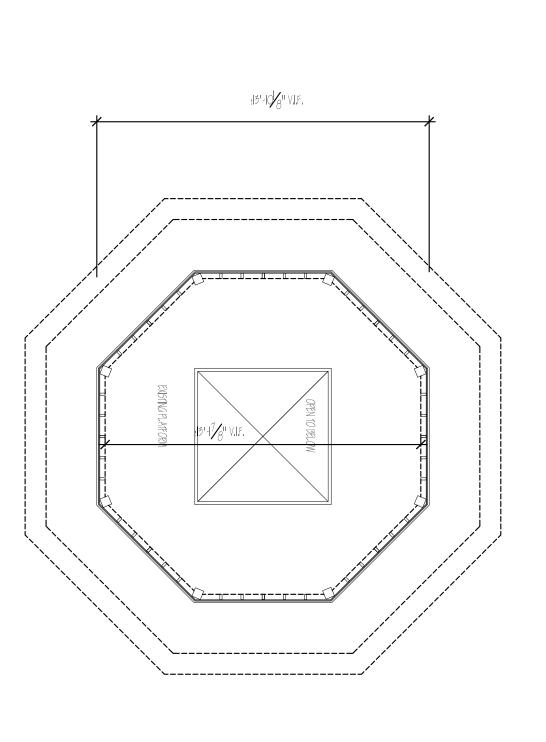
-Replace deteriorated flashing, Roof sheathing should also be checked for proper venting to previous Moisbure condensation and water penetration, and to ensure that materials are free from insect Identifiu, retain and preserve roofs-rand their functional and decorative features-that are important in defining the overall historic character of the building. This includes the roof's shape, such as hipped, gambrel, and mansard decorative features such as cupolas, cresting chimmeys, and weathervane's, and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.



<u>7</u>2<u>7</u>



SECOND FLOOR PLAN



THRO

NOTE:

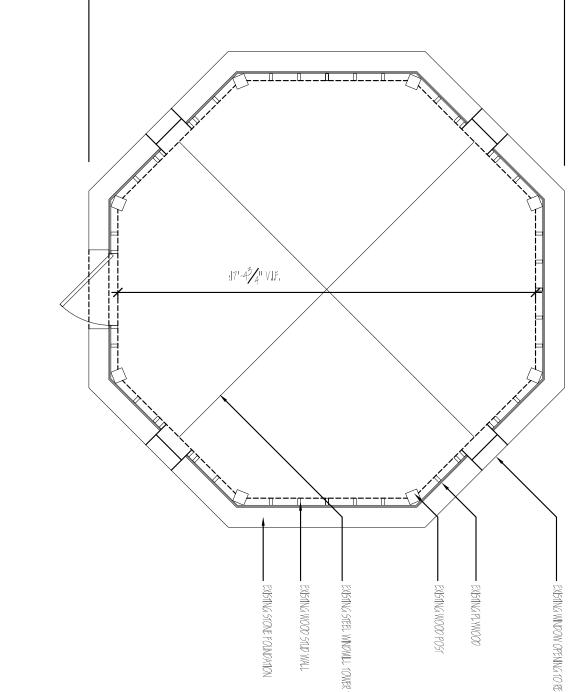
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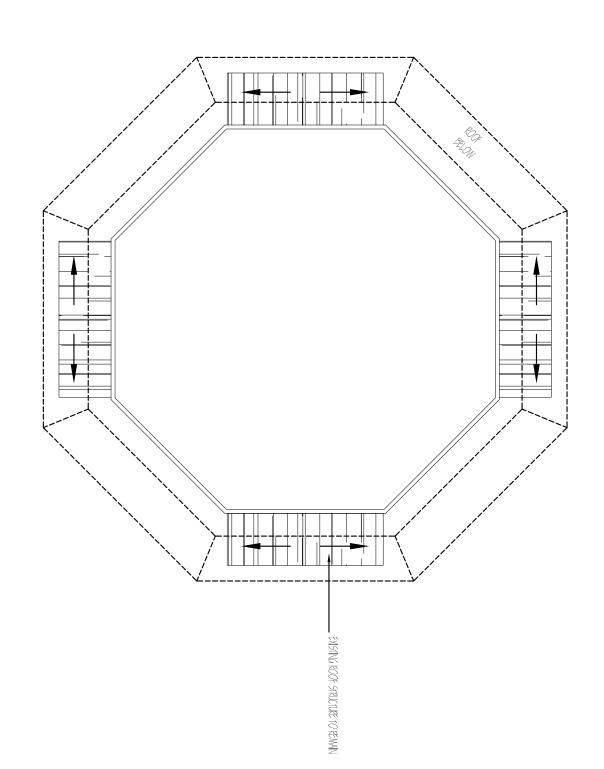
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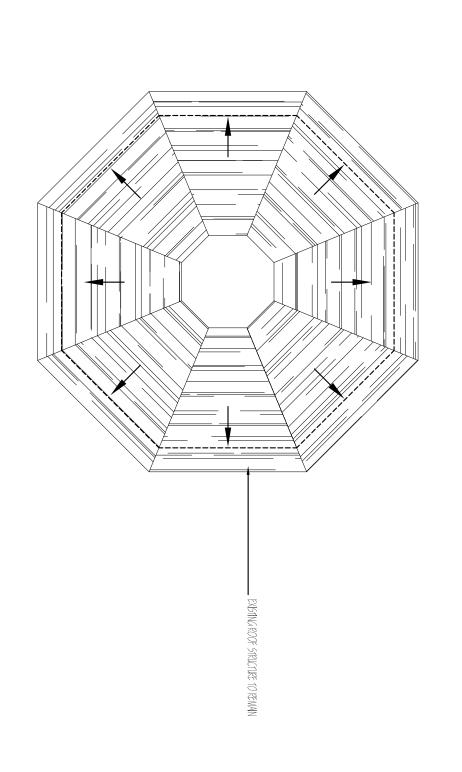
FLOOR PLAN



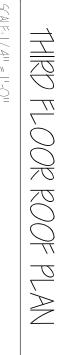
FIRST FLOOR ROOF PL \geq

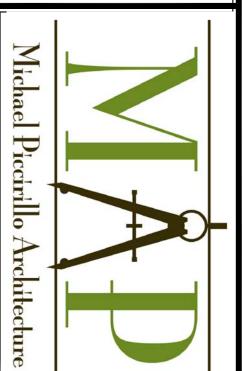


SECOND FLOOR ROOF PLAN



生物 FLOOR ROOF PLAN





DOOR SYMBOL

NEW WALLS TO BE CONSTRUCTED.
SEE BUILDING SECTION FOR DETAILS EXISTING WALL TO REMAIN

EXISTING DOOR TO REMAIN.

NEW DOOR TO BE INSTALLED

PROJECT NAME:

WATER DISTRICT NO.2
WINDMILL #1
REHABILITION

PROJECT ADDRESS: SPRUCE HILL

ARMONK, N.Y. 10504

MICHAEL A PICCIRILLO, AIA 962 EAST MAIN STREET SHRUB OAK, NEW YORK 10588

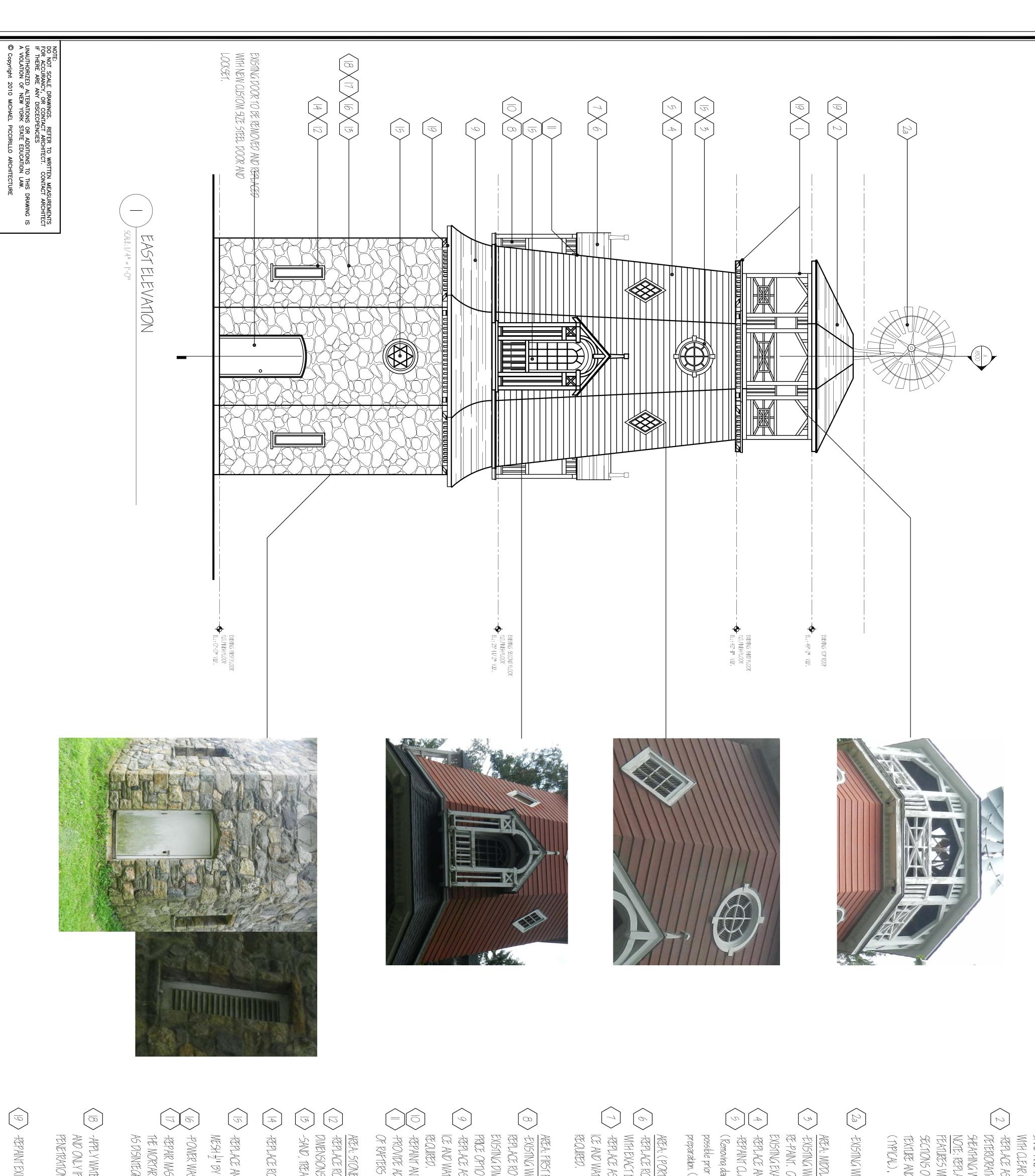
michael@mpiccirilloarchitect.com www.mpiccirilloarchitect.com TELEPHONE: 914-368-9838 FACSIMILE: 914-368-9839

FLOOR PLANS

ROOF PLANS

DRAWN BYSHANA CHK'D BY: MAP

8-11-11



SAND AND PAINT, OPTION; REMOVE AND REPLACE ROTTEN MATERIAL AND REPLACE IN KIND WITH CLEAR CEDAR, TO MATCH EXISTING DIMENSIONS EXACTLY AREA: THIRD FLOOR ROOF -EXISTING WOOD TRIM/ ORNAMENT/ MOLDING DETAILS TO REMAIN, REMOVE LOOSE PAINT ASPHALT ROOF SHINGLES TO MATCH EXISTING WHERE NECESSARY (WHERE SIGNS OF

-REPLACE ASPHALT ROOF SHINGLES TO MATCH EXISTING WHERE NECESSARY (WHERE SI DETERIORATION OR ROT ARE PRESENT) PROVIDE ICE AND WATER SHIELD AND REPLACE SHEATHING WITH CDX PLYWOOD WHERE REQUIRED, NOTE; REPLACING IN KIND EXTENSIVELY DETERIORATED OR MISSING PARTS OF WOOD TEXTURE AND BE UNOBTRUSIVELY DATED TO GUIDE FUTURE RESEARCH AND TREATMENT EATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS BRACKETS, MOLDING, OR SECTIONS OF SIDING, NEW WORK SHOULD MATCH THE OLD IN DESIGN, COLOR, AND

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Architecture

-EXISTING WINDMILL TO REMAIN (INVESTIGATE TO MAKE SURE STRUCTURALLY SOUND)

AREA: MIDDLE (VENTING WINDOWS)

- -EXISTING WOOD TRIM/ ORNAMENT DETAILS, SCRAP OFF LOOSE PAINT, SAND AND RE-PAINT, OPTION; REPLACE WITH NEW CLEAR MATERIAL WHERE NECESSARY TO MATCH
- EXISTING EXACT DIMENSIONS

 -REPLACE ANY CLAPBOARD SID

 -REPAINT CLAPBOARD TO MATC CLAPBOARD TO MATCH EXISTING WHERE ONLY VISUALLY DAMAGED ANY CLAPBOARD SIDING TO MATCH EXISTING WHERE DAMAGED, ROTTED, ETC.
- (Removing damaged or deteriorated paint only to the next sound layer using the gentlest method preparation. (typical)) possible prior to repainting. Apply compatible paint coating systems following proper surface
- AREA: (PORTICO ROOF)

 -REPLACE ROTTED ROOF STRUCTURE WHERE NECESSARY TO MATCH EXISTING
 WITH EXACT DIMENSIONS / STYLE, VERIFY IN FIELD.
 -REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDE
- -REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDICE AND WATER SHIELD AND REPLACE SHEATHING WITH CDX PLYWOOD WHERE REQUIRED.
- AREA: FIRST FLOOR ROOF / PORTICO
- EXISTING DIMENSIONS/STMLE REPLACE ROTTED TRIM WITH WOOD (PVC TRIM PRICE OPTION) -EXISTING WOOD DECKING AND RAILINGS TO BE SANDED AND PAINTED,
 REPLACE ROTTED DECKING AND RAILING SYSTEM WITH WOOD, TO MATCH EXACT
- -REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDICE AND WATER SHIELD AND REPLACE SHEATHING WITH CDX PLYWOOD WHERE REQUIRED. ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDE
- -PROVIDE ADDITIONAL ANCHORS AND TIES TO RESIST UPLIFT AT CONNECTIONS OF RAFTERS TO BEAMS AND BEAMS TO COLUMNS, ETC. (TYPICAL) -REPAINT ANY TRIM MOLDING WHEN NOT BEING REPLACED IF NEEDED
- DIMENSIONS) AREA: STONE BASE -REPLACE ROTTED TRIM WITH WOOD MATERIAL (NEW TO MATCH EXISTING
- -SAND, TREAT, PRIME AND RE-PAINT WHERE NECESSARY (TYPICAL)
- -REPLACE ROTTED LOUVERS WHERE NECESSARY WITH WOOD MATERIAL
- -REPLACE ANY OPENINGS TO HAVE HARDWARE CLOTH-GALVANIZED WIRE MESH $\frac{1}{2}$ " BY $\frac{1}{2}$ " SQUARE OPENINGS, WHERE NECESSARY (TYPICAL)
- POWER WASH STONE WHERE NEEDED
- -PEPAIR MASONRY WALLS AND OTHER MASONRY FEATURES BY REPOINTING THE MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETERIORATION SUCH AS DISINTEGRATING MORTAR, CRACK IN MORTAR JOINTS, ETC. (TYPICAL)
- -APPLY WATER REPELLENT COATING TO MASONRY ONLY AFTER REPOINTING PENETRATION PROBLEMS, (TYPICAL) AND ONLY IF MASONRY REPAIRS HAVE FAILED TO ARREST WATER
- -REPAINT EXISTING WOOD SOFFITS WHERE NEEDED

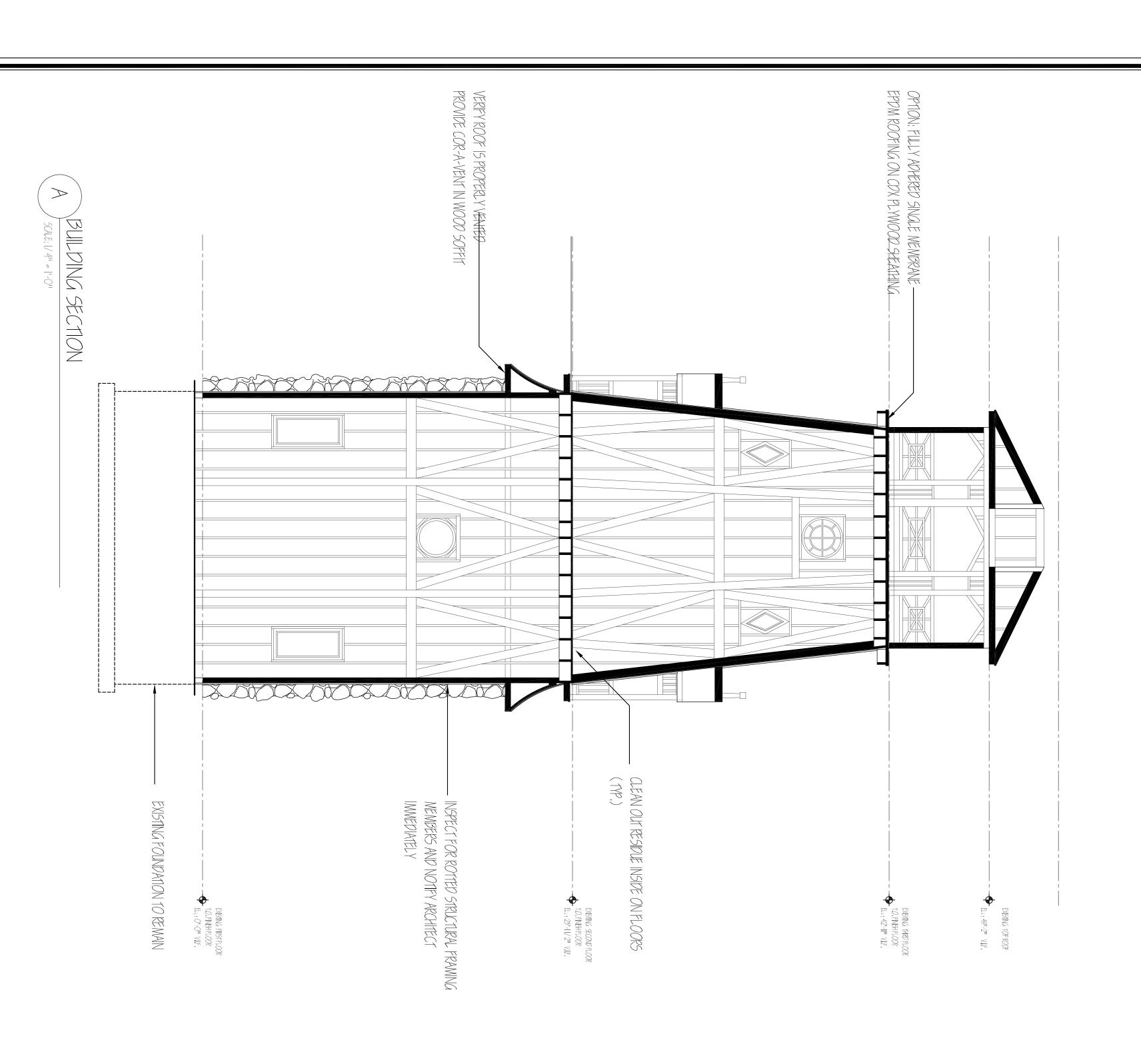
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<u>></u>	ROJEC1	₩ 11	SOJEC1		8/50/16	DATE:
ARMONK, N.Y. 10504	PROJECT ADDRESS:	WATER DISTRICT NO.2 WINDMILL # 1 REHABILITION	TROJECT NAME:		REVISED	ISSUE:

MICHAEL A PICCIRILLO, AIA SHRUB OAK, NEW YORK 10588 962 EAST MAIN STREET

michael@mpiccirilloarchitect.com www.mpiccirilloarchitect.com TELEPHONE: 914-368-9838 FACSIMILE: 914-368-9839

ELEVATIONS

DRAWN BYSHANA CHE'D BY: MAP AS NOTED



DECKS MINDOWS BRACKE1S RAILING 9NIG18 型型 TEMS 53000 FASCIAS 1000F autiers (6" DIA.) STONE SIDING EXTERIOR FINISHES EXISTING WOOD OR CEDAR RAIL / NEW WOOD EXISTING WOOD/ NEW WOOD ALUMINUM EXISTING WOOD/ NEW WOOD EXISTING WOOD/ NEW METAL EXISTING WOOD/ NEW WOOD EXISTING WOOD / NEW PVC EXISTING WOOD / NEW PVC VIIF.) MATERIAL NATURAL STONE WOOD CLAPBOARD (6" EXPOSURE ASPHALT SHINGLE MATCH EXISTING 2010)

Michael Piccirillo Architecture

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No. DATE:

inuction will be used to depict vanished or non-surviving portions of a property, when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property, induction will be preceded by a bhorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, intibation will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability. A confirmation of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability. A confirmation of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability. A confirmation of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability. A confirmation of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability. A confirmation of historic features.

ARMONK, N.Y. 10504	
PROJECT ADDRESS: SPRUCE HILL	PROJEC
WATER DISTRICT NO.2 WINDMILL # REHABILITION	WA:
PROJECT NAME:	PROJEC
REVISED	8/30/16

962 EAST MAIN STREET SHRUB OAK, NEW YORK 10588 TELEPHONE: 914-368-9838 FACSIMILE: 914-368-9839 michael@mpiccirilloarchitect.com www.mpiccirilloarchitect.com

MICHAEL A PICCIRILLO, AIA

BUILDING SECTIONS

CHK'D BY: MAP DRAWN BY SHANA AS NOTED 8-11-11



Q

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Note: The Contractors' experience, expertise and professional judgment shall not be disregarded during the construction process. The Contractors' input, comments and recommendations will be welcomed and expected by the Owner and the Architect Constitution alternatives will be considered and	r. Subcontractors must register any complaints regarding work prepared as a base for their contract before starting work. Commencement of work shall constitute acceptance of responsibility for such base.	 q. All manufactured items shall be installed strictly in accordance with manufacturers' specifications in all cases. 	 p. Extra charges will be allowed only when authorized in writing (by way of formal Change Order) by the Owner and Architect before charge is incurred. 	o. Any defects in materials or workmanship which develop within one year of the date of substantial completion (as determined by the Architect and agreed upon by the Contractor by virtue of his acceptance of the Substantial Completion payment) shall be corrected by the G.C. without expense to the Owner. This includes the repair of damage done as a result of the defect, as well as the correction of the defect itself. Approval of a shop drawing does not relieve the G.C. from this quarantee if a defect develops in the work indicated.	n. G.C. shall provide and maintain temporary toilet facilities, G.C. shall pay for all temporary water, light, power, and heat required for work under this contract.	to avoid damaqing any tre etc. that are not schedule	I. G.C. shall visit the site and become familiar with all conditions prior to commencement of work. G.C. shall verify all dimensions and conditions shown on these drawings with those at the site. Any variation that requires physical change shall be brought to the attention of the Architect prior to executing the adjustment.	k. These documents do not include quidelines or specifications for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety is, and shall be, the responsibility of the G.C.	j. The costs for landfill taxes, use tax, sales tax, and other charges relative to construction of this project shall be included in the contract price.	rented equipment shall be the responsibility of the G.C. i. G.C. shall maintain the job clear of trash and debris. All waste materials shall be removed from the site prior to substantial completion and prior to final acceptance.	of any said additional coverage. h. Rental charges, safety, protection and maintenance of	a, G.C. shall carry builders insurances; (\$2.0 Mil. Liability & Workers Compensation Min.). Owner shall be presented with certificates of Contractor's insurance at the time of signing of the Contract. Owner and owner's rep. reserve the right to request "additional coverage" as deemed necessary. Additional costs associated with "additional coverages" shall be determined and reported to owner for owner's approval prior to purchase	f. Winter protection, heat, and snow removal shall be the responsibility of the G.C. All space heating shall be done in a safe, sensible manner, with periodic checks on the systems, and shall comply with state industrial commission and 0.5.H.A regulations.	e. The G.C. shall present the completed building to the owner for acceptance, clean and ready for occupancy. All class shall be cleaned and polished, floors vacuumed, carpets vacuumed, fixtures washed, all labels removed, and exterior grounds hand raked free of trash and debris.	d. Temporary facilities for protection of tools and equipment shall conform to local regulations, and shall be the General Contractor's (G.C.) responsibility,	c. At the discretion of the Architect, and upon his request, samples shall be supplied to the Architect of all materials proposed for substitution of specified materials, and of those certain specialty conditions, which may, in the judgment of the Architect, warrant same. Likewise, the Architect reserves the right to request shop drawings for substitutions or specialty conditions. In such circumstances, work on the specified item(s) shall not take place until the Architect has approved the shop drawings.	b. All work shall comply with state and local codes and ordinances, and shall be done to the highest standards of craftsmanship by journeymen of the respective trades.	VENERAL REQUIRED THE WORK SHALL REPORT THE WORK SHALL REWINDS SP1, SC D., E100	Specifications for: REHABILITION OF EXISTING WINDMILLS SPRICE HILL WINDMILL The following items shall be purchased by Owner and installed and fully coordinated by the General Contractor. (Coordination shall include the provision of material quantities as necessary for ordering, arranging pick-up and/or delivery of materials to site, security of same during construction etc.) 1. Decorative light fixtures (Pendants, Wall Sconces, Surface Mounted Interior & exterior). 2. All door latches, knobs and/or locksets, wall and/or floor bumpers, Non-standard hinges.	Consultant for

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ials, and equipment to perform all site/ demolithown or specified in these documents. The requirements of Section I, shall apply to all ider this heading.

NOTE:
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IF THERE ARE ANY DISCECPENCIES

shall be the responsibility of the G.C. to any and all underground utilities which may on the site, prior to excavation. avate, fill and regrade site at area of new ction. Provide fences, barricades and/or iround open trenches, excavations and other only enough area for additions, deck, and a. Protect all trees, landscaping and other site amenities.

ackfilling will be allowed if excavation is dug too low depth to be filled with concrete. Excavations shall if free of standing water at all times, and all mud such before footings are poured.

ckfilling operations are the responsibility of C. Foundation walls shall be adequately braced backfilling. Excess excavated material shall be sd from the site. All finish grades to pitch away yilding.

wrecked materials shall be removed from the ses, except as noted. In no case shall dangerous essive debris be allowed to accumulate.

sting utility lines shall be located prior awation and shall be protected from damage during ation and backfilling, and if damaged shall be ed by the Contractor, at his expense.

entire residence shall receive new qutters and 3. New qutters and leaders shall be connected to the drain system.

For footing drain, provide 4" P.V.C. perforated pipe laid in lot crushed gravel and covered with 6" layer of crushed vel and then porcus fill to within 18" of finished grade. If gravel with filter fabric. The G.C. shall furnish all sus fill. Footing drains are to run around perimeter of foundation where shown on Sht. SP, and shall tie into site retainage containers as shown.

taining walls (other than those detailed on the rings) required by site conditions or desired by owner be not be included in this contract.

shall not be included

ral Requirements: Provide all necessary labor, rials, and equipment to complete all masonry shown ted in these documents. The general requirements sction I shall apply to all work under this

Stone Work: New exterior stone veneer shall match sting, G.C. hall provide a sample for Architect approval Paving. All paving, terraces, stone wall caps, treads, as at stone benches, etc. shall be bluestone (unless remise noted). Pavers in fields shall be 5/4" thick. At ges and/or where edge of bluestone is posed/revealed, stone pavers shall be 2" thick with

et A100 for notes

SIII anchors for wood sIIIs shall be ½" diameter bolts 18" length 4'-0" 0.C. max., 1'-0" from corners max. eneral Requirements: Provide necessary labor, sterials and equipment to erect all miscellaneous iron disted as required, as detailed or noted on these awings. The general requirements of Section I, shall plu to all work under this heading.

Pipe columns shall conform to A.S.T.M. A53 and shall provided in sizes as indicated on drawing.

eel members bearing on foundation walls (if any) be set into beam pockets and shall be shimmed steel plates. Beams shall be welded to column ng plates (if any).

whacturer 5 5 for all flashing, valley and ridge ''V'' crimp flashing at all valleys

seam copper (as the conditions may require) over single-ply

lists hangers, hurricane clips, post bases and , etc. shall be galvanized and as manufactured by SON STRONG TIE or approved equal.

Petailing, fabrication and erection of steel shall be accordance with the 1989 A.1.5.C. specification for actural steel allowable stress and plastic design, redition. Structural shapes and plates shall form to A.5.T.M. A572, grade 50.

All doors shall be sealed, top, bottom, defined in Section 9 Finishes, and shall be

ed complete, caulked, ped with oak threshold and hardware per shall verify the jamb extension requireme

Requirements: G.C. shall provide all material and labor interior rooms and building exterior as shown, noted, ad, or specified in these documents. The general rents of Section I shall apply to all work under this

; G.C. shall provide and instated by owner) in areas scheduled.

al Contractor shall install all bathroom which will be purchased by it locations and provide required blocking for accessories.

71VISION II EQUIPMENT- Not Used General Contractor shall provide all electrical and nical hook-ups for equipment and specialties furnishers, as part of the base bid.

21VISION 12 FURNISHINGS- Not Used VISION 15 SPECIAL CONSTRUCTION- Not Used

terior ceramic tile (if any) shall be provided by owner stalled by G.C.
who shall provide all rial quantities and review orders for completeness and stress. All floor tile shall be installed over Schlutter ling membrane

products shall be CABOT BRAND semi-transparent Architect and Owner shall select colors from standard line. ing shall be a minimum prime plus 1-coat job of the

oke detectors shall be furnished and installed by G.C. noke detectors shall be a part of the electrical system hall be manufactured by Simplex or equal. Smoke tors shall be hard wired (line voltage) and onnected such that if one unit is activated, all units will

xt roof valleys, roof edges, wall/roof s, window/door heads, chimney f penetrations etc. shall be 16 oz. copper e copper fasteners.

/ Interlayment shall be 30 lb. asphinless otherwise noted.

and water shield by GRACE at all eaves, mmended by manufacturer (mn, 36" wide

ents shall be aluminum. Submit sample to approval. Vents shall have insect screens. plan for locations.

aler shall be 1" x 5 5 / 8" fiberglass um. Termite shield below.

pound for all joints shall be one part ealant conforming to Federal 1-5-0073 similar to Mono-Lusto-Meric a y TRANCO

ing (160z. Min.) where shown on drawings M B370 and requirements of Residential State of New York.

.All millwork and trim shall be shop-primed or primed skprimed at job before installation.

) UVVA SIOI for wood framing notes All finish work to be executed by trained and shall be filled, sanded smooth, and ready and/ or staining.

d trim shall be as specified on

ial will be accepted.

paint products shall be from BENJAMINE MOORE'S premium product lines for the respective tupes.
In his base bid (3) tupes of paint for each room.
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I

All painting shall be a minimum prime plus 2-coat job of the lest quality workmanship, free of runs and sags, with alpht cuts.

INTERIOR: The intent is to paint all walls, ceilings, trim, ldhops, doors, and windows, etc. of the rooms listed in the sh Schedule. The Owner shall select colors. G.C. shall lide samples of each color in each space for Owner's roval.

RIOR: Siding and exterior doors shall be pre-primed Treceive two coats of semi-gloss lates.

e a minimum prime plus I-coat job of the anship, free of runs and sags,
shall be sanded and finished ane, buffing between each coat,

m water inlets, catch basins and aintained clean at all times throughout diment, the filter will require replacement

PROJECT ADDRESS:

SPRUCE HILL

ARMONK, N.Y. 10504

PROJECT NAME:

WATER DISTRICT NO.2
WINDMILL #
REHABILITION

Install an anti-tracking pad at the site entry and exit(s). The geotextile fabric with limestone over it.

sion period. If repair or replacement Is specifications. Maintenance includes he fence. Contractor shall remove, the contractor shall reinstall any portion

ystem to minimize sediment transport. If the the weather conditions indicate the chance all to prevent erosion and/orB) install silt ment to the storm water system, or apply other ward against wind erosion must also be employed, lies as possible during the course of the project. Its as possible during the to construction

aged by runoff.

ater Management Operator as well as These inspections may result in levices, as well as additional controls,

USE A HIGHLY DURABLE FASTENER SUCH AS STAINLESS STEEL OR HOT-DIPPED GALVANIZED.
USE FASTENERS DESIGNED FOR WOOD TRIM AND WOOD SIDING WITH AZEK.
STAPLES, SMALL BRADS AND WIRE NAILS MUST NOT BE USED AS FASTENING MEMBERS.
THE FASTENERS SHOULD BE LONG ENOUGH TO PENETRATE THE SOLID WOOD SUBSTRATE A MINIMUM.

OF 1 1 / 2". I STANDARD NAIL GUNS WORK WELL WITH AZEK TRIM PRODUCTS.

I USE 2 FASTENERS PER EVERY FRAMING MEMBER FOR TRIMBOARDS APPLICATIONS, TRIMBOARDS 12" OR

Michael Piccirillo Architecture

WELL AS SHEETS, WILL REQUIRE ADDITIONAL FASTENERS.

I FASTENERS MUST BE INSTALLED NO MORE THAN 2" FROM THE END OF EACH BOARD.

I AZEK SHOULD BE FASTENED INTO A FLAT, SOLID SUBSTRATE, FASTENING AZEK INTO HOLLOW OR UNEVEN AREAS

MUST BE AVOIDED.

I PRE-DRILLING IS TYPICALLY NOT REQUIRED UNLESS A LARGE FASTENER IS USED OR PRODUCT IS

INSTALLED IN LOW TEMPERATURES.

I 3/8" AND I/2" SHEET PRODUCT IS NOT INTENDED TO BE RIPPED INTO TRIM PIECES, THESE PROFILES

TO A SUBSTRATE AND MECHANICALLY FASTENED, ESIVES:

AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK

ALLE ALL AZEK TO AZEK JOINTS SUCH AS WITHOUT SEPARATION.

2)HESIVE, A

2)LULAR PVC CEMENT, TO PREVENT JOINT SEPARATION.

1)HE ALLE JOINT SHOULD BE SECURED WITH A FASTENER AND / OR FASTENED ON EACH SIDE OF THE OINT TO ALLOW

DEQUATE BONDING TIME.

PEQUATE BONDING TIME.

K ADHESIVE HAS A WORKING TIME OF 10 MINLITES AND WILL BE FULLY CURED IN 24 HOURS, TANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH

IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH.

II SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

II TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED, CONSULT ADHESIVE

URETHANE, POLYURETHANE OR ACRYLIC BASED SEAL ANTS WITHOUT SILICONE

PLY WITH MANUFACTURER**I**S PRODUCT CATALOG INSTALLATION INSTRUCTIONS AND PRODUCT ICATIONS FOR AZEK.

cordance with rule 1709 promulgated under the authority of Part 91, 501 Erosion and Sedimentation rd, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, and in tion to the information in the project plans and specifications, the following general conditions apply e earth change authorized by this document:

before it leav s the site of the

No. DATE:

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ion control measure for the earth change within five (5) calendar days of the final earth change. If it is not possible to permanently tain temporary soil erosion and sedimentation control measures are in place and the area is stabilized.

landscaping during the warranty period. After the aintained by the University of Michigan Plant in and the Plumbing Shop as appropriate. The intenance of any permanent landscaping SESC inbe for the maintenance of any SESC measures in the second se

o minimize sediment transport. If the sther conditions indicate the chance sevent erosion and/or B) install silt the storm water system, or apply other painst wind erosion must also be occupied as possible during the course of octpiles as possible during the course of



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BUILDING SPECIFICATIONS

DRAWN BY SHANA Ç₩ AS NOTED 8-11-11

CHK'D BY: MAP

Q

