MAPLE V ARMONK, NEW VAY YORK 10504

28/8 2/2010	5.3N	7. F	JLYBJIGOW JHOITS	MODERATE HEAVION	42"	331/35	0	HdW 001 - 06	459 B
HAZARDS	REQUIREMENT	TEMPERATURE	DECAY	TERMITE	1905 DEPTH 1805 DEPTH	WEATHERING	CATEGORY	(HdW)	LOAD
K1000	INDER AVVANAL	WINTER		IÉ FROM	SUBJECT TO DAWAGE FROM		5E15MIC	MNW	GROUND
1ABLE 12501,2(1)			IGN CRITERIA	CRAPHIC DES	CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA	MTD			
					PEN FROVIDED	ON 10 1RF DUIDOOKD RAWF	TO ARCA FOR YEN ITALI	PLOCK MEAN OF SUCH ROOMS, HE MINIMUM OFERMALE MEAN FOR VENILLATION TO THE CUITOOKS PRIVE BEEN FROVIDED AT NOT LESS THAN 4 PERCENT OF FLOOR AREA.	AT NOT LESS THAN
			DATE;	SIGNED:	KREEN OF THE	AREA OF NOT LESS THAN 8 PI	I AGGREGATE GLAZING /	ATL JO JNEDBAJA 8 NAFL SSFILON AO VARY SNIZYD ALVDAROYN NY HUM GAGINOBA NABA ANH SWOOB FIRVLIAM I TIY	ALL HABITABLE RC
CO 3007 NOTES/ASONAT	I CERTIFY THAT I AM A LICENSED PROPESSIONAL. I ALSO CERTIFY THAT TO THE BEST OF MY PROPESSIONAL KNOWLEDGE THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE OF NEW YORK STATE.	ROPESSIONAL, I AL 50 CER S SHOWN HEREIN ARE IN CC	THAT I AM A LICENSED F 2015 THE BULLDING PLAN K STATE,	I CERTIFY THAT I AV KNOWLEDGE THE NEW YORK STATE.	51ATE, 111E 14 11E 2010 RC	INAL CODE OF NEW YORK ING PARAGRAPH R505,1 C	TLANCE WITH RESIDEN	THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH RESIDENTIAL CODE OF NEW YORK STATE. THE BUILDING PLANS DESCRIBED HEREIN COMPLIES WITH CHAPTER 3 INCLUDING PARACRAPH R503,1 OF THE 2010 RC OR NYS.	OR NYS. BULLDING PLANS OR SYNS.
		10/17/	ENERGY CODE NOTE:				NOTE.	LIGHT AND VENTILATION NOTE	

### Waple Way Maple Way Windmill Rd bA limbrill



ohill Fam retans tis country character even toolay with uss deer." - ARNOLE BY THE WIND MILL CLUB WEBSITE

or.
It required to complete the project shall be stated in Contractor's proposal. After award of actor shall submit a construction schedule for review, indicating the sequence of operations and time for each, establishing a target date work shall be performed by skilled and qualified working in the appropriate trades. Contractor shall ficient working on the job at all times to perform the work in the most expeditious manner consistent with knarship, sound business practice and in the best interests of the project.

III. No substituitors will be accepted unless submitted in writing to ARCHITECT/ OWNER & approved by the ARCHITECT/ OWNER & approved by the ARCHITECT/ OWNER & approved by the IZ. Contractor shell provide proper protection for all existing work, furnishings and fixtures likely to be damaged. When the exterior openings are made in existing work, they shall be covered with watertight protection at the end of the day's work.

15. Patch, repair and replace all existing walls, ceilings and floors damaged due to new construction.

16. Work performed over any surface construction is to be coordinated with Owner and agreed upon by both parties, 15. Contractor is expected to work on job without any unreasonable delay. If a delay is to occur, notification to the Owner shall be required.

16. Work performed over any surface constitutes acceptance of that surface for the specified quality of work between performed thereon.

17. The contractor is to notify ARCHITECT in writing of any adaptations to these drawings or specifications resurrequired by both parties. If a delay is noted work on job without any unreasonable delay, If a delay is to affect the contractor shall provide proper protection for all existing work, they shall be covered with watertight protection at the end of the day's work.

15. Patch, repair and replace all existing walls, ceilings and floors damaged due to new construction.

16. Work performed by a completion for construction is to be coordinated with Owner and agreed upon by both parties, 15. Contractor is expected to work on job without any unreasonable delay. If a delay is to completion to the Owner shall be required.

16. Work performed over any surface constitutes acceptance of that surface for the specified quality of the work betrap performed thereon.

17. The contractor is to notify ARCHIECT in writing of any adaptations to these drawings or specifications light required by local life and safety codes or any other governing agency.

18. Since it is not possible to indicate on the drawings all the existing work to be removed by dashed hiers or notes, the contractor is therefore advised to acquaint himself with the actual conditions at locations where detersitions occur to the existing conditions.

19. The contractor is the proper execution and completion of the work of this contract.

20. All contractors are responsible to conform to the Owner's insurance requirements and to provibe a cert, of insurance to all parties upon award of contract.

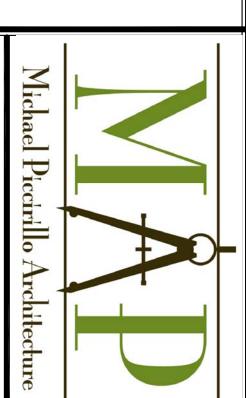
21. All contractors are to conform with the building owner's requirements for delivery to the site and storage of all construction meterials.

22. Remove debris and abandoned items from area and from concealed spaces. Contractor to coordinate of a contract of debris from site so that it does not interfere with Owner's activities.

25. Properly prepare all surfaces before application of finishes, in strict accordance with the printed recommendations.

TO WRITTEN MEASUREMENTS HITECT. CONTACT ARCHITECT DIFFIONS TO 1145 DRAWING IS	5
CAB Cabinet CPT Carpet C.B. Catch Basin CLG Celling CEM Cement C.T. Ceramic Tile PRAWING IS A VIOLATION OF NEW YORK STATE SILLO ARCHITECTURE	
Cabinet Carpet Carbon Catch Basin Celling Cement Ceramic Tile Ceramic Tile	
17	
Column Concrete Conc. Masonry Unit. Continuous Cubic Feet Cubic Yard Piameter Phension Pown Prawling Prinking Fountain Electrical Electrical Elevation Equal Exposed Exterior Expansion Joint	
NAME OF THE PROPERTY OF THE PR	
Finished Floor Elev. Fine-proof, Self-Closing Floor Footling Foundation  Calvanized  Cauge  Culpsum board  Hardwood  Header  Helight  Hollow Metal  Hose Bib  Including Inside Diameter Insulation Interior Invert	
0.0. N.	
Joint Laminate Lavatory Linear Foot Manufacturer Mascorry Opening Mechanical Minimum Not in Contract Not 10 Scale Outside Air Intake Opening Opposite Outside Piameter	
\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Painted Plastic Laminate Plywood Plywood Polyvinyl Chortele Pounds Per Square Foot Pounds Per Square Inch Quarry file Reference Reinforced Revision Riser Rough Opening Systemilar Square Yard Standerd Standerd	
を	
Telephone Television Thickness Tongue and Groove Top of Slab Top of Steed Top of Wall Tread ( 5) Tupical Tread ( 5) Tupical Top of Curb Underwriters Laboratory Water Closet Water Resistant Welded Wire Fabric Wilde, Width Wood	
STEEL  ROUGH LLIWBER  ROUGH LLIWBER  PLWWOOD  FINISH WOOD  RIGID INSULATION	LEGEND
EARTH/COMPACTED FILL  CONCRETE BLOCK (CMU)  CONCRETE BLOCK (CMU)	
+ NEW OR REQUIRED POINT ELEVATION LEVEL LINE SECTION REFERENCE SECTION REFERENCE DETAIL REFERENCE DETAIL REFERENCE DETAIL REFERENCE DETAIL REFERENCE DETAIL REFERENCE DETAIL REFERENCE	SYNBOLS
WION  INTERIOR ELEVATION  NUMBER  EQUIPMENT OR  ACCESSORY NUMBER  BER  EXTERIOR DOORS /  OPENINGS  EXTERIOR DOORS /  EXTERIOR DOORS /	

ABBREVIATIONS



DOOR SYMBOL WALL AND

NEW WALLS TO BE CONSTRUCTED,
SEE BUILDING SECTION FOR DETAILS EXISTING WALL TO REMAIN

EXISTING DOOR TO REMAIN.

NEW DOOR TO BE INSTALLED

PROJECT NAME:

WATER DISTRICT NO.2
WINDMILL #2
REHABILITION

PROJECT ADDRESS. MAPLE WAY

ARMONK, N.Y. 10504

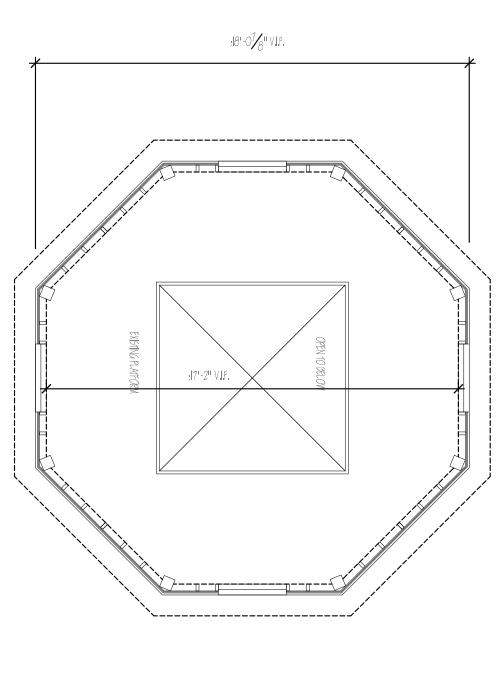
MICHAEL A PICCIRILLO, 962 EAST MAIN STREET SHRUB OAK, NEW YORK 10588 AIA

TELEPHONE: 914-368-9838 FACSIMILE: 914-368-9839 michael@mpiccirilloarchitect.com www.mpiccirilloarchitect.com

GENERAL NOTES

# ,19''-9<sup>3</sup>/<sub>4</sub>'' V.1F. :17'-4<sup>3</sup>/<sub>4</sub>'' V.I.F.

## IRST FLOOR PLAN



# SECOND FLOOR PLAN

-Identifiu, retain and preserve roofs--and their functional and decorative features--that are important in defining the overall historic character of the building. This includes the roof's shape, such as hipped, gambrel, and mansard decorative features such as cupdas, cresting chimneys, and weathervane's, and roofing material such as slate, wood, day tile, and metal, as well as its size, color, and patterning.

Repair entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind-or with compatible substitute material-of those extensively deteriorated or missing parts of repeated features where there are surviving prototupes such as balustrades, comices, entablatures, columns, ETC.

Protect and maintain the masonry, wood, and architectural metals that comprise entrances and porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

-Apply chemical preservatives to wood features such as beam ends or outripgers that are exposed to decay hazards and are traditionally urpainted.

CENERAL NOTES:

Protect and maintain wood features by providing proper drainage so that water is not allowed to stand on flat, horizontal surfaces or accumulate in decorative features.

5, ALL ROOF PENETRATIONS TO BE MADE WATERHOHT AS PER DETALS AND ROOF MANUFACTURER'S SPECIFICATIONS, REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS.

4. PROVIDE ALL ACCESSORIES, MATERIALS, FASTENERS, ETC FOR COMPLETE ROOF INSTALLATION.

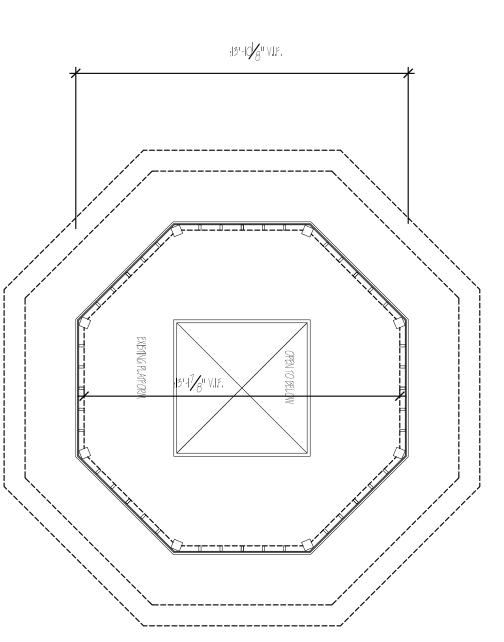
5, INSTALL ALL NEW ROOFING IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS AND MANUFACTURER'S INSTALLATION SPECIFICATIONS.

2, ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL CODES AND AUTHORITIES HAVING JURISDICTION.

CENERAL ROOFING NOTES

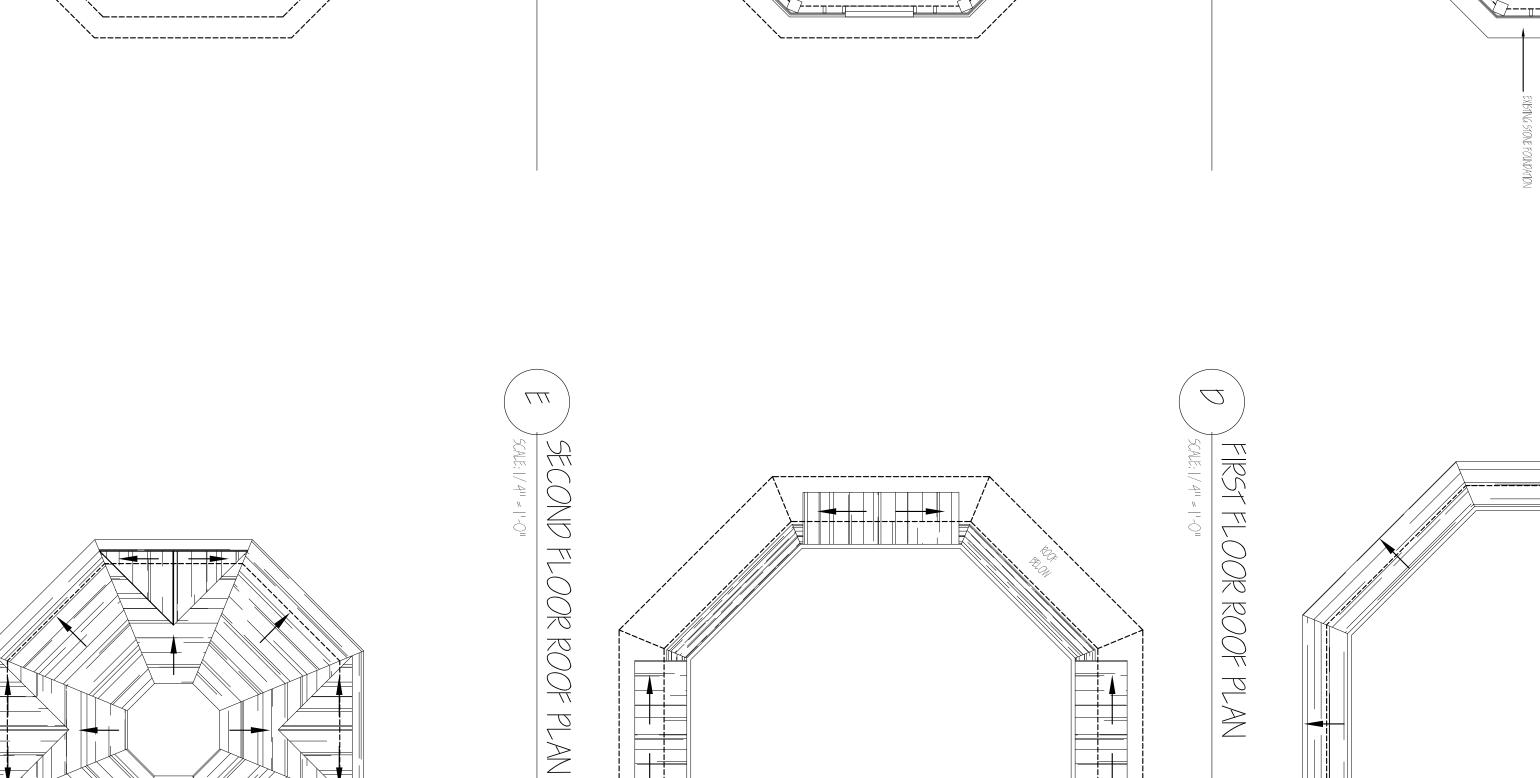
I. PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIEV IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS, OF THE NEW CONSTRUCTION. ALL DECREPANCIES BETWEEN FIELD VERIFIED CONDITIONS, DIMENSIONS, AND ELEVATIONS INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE ARCHITECT IN WRITING.

-Replace deteriorated flashing, Roof sheathing should also be checked for proper venting to prevent motshure condensation and water penetration, and to ensure that materials are free from insect

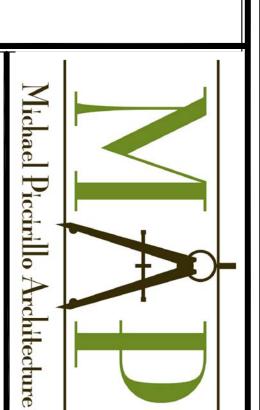


## THIRD FLOOR PLAN

DO NOT SCALE DRAWINGS, REFER TO WRITTEN MEASUREMENTS FOR ACCURANCY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCECPENCIES



THIRD FLOOR ROOF PLAN



### DOOR SYMBOL

NEW WALLS TO BE CONSTRUCTED.
SEE BUILDING SECTION FOR DETAILS EXISTING WALL TO REMAIN

EXISTING DOOR TO REMAIN.

NEW DOOR TO BE INSTALLED

PROJECT NAME:

WATER DISTRICT NO.2
WINDMILL # 2
REHABILITION

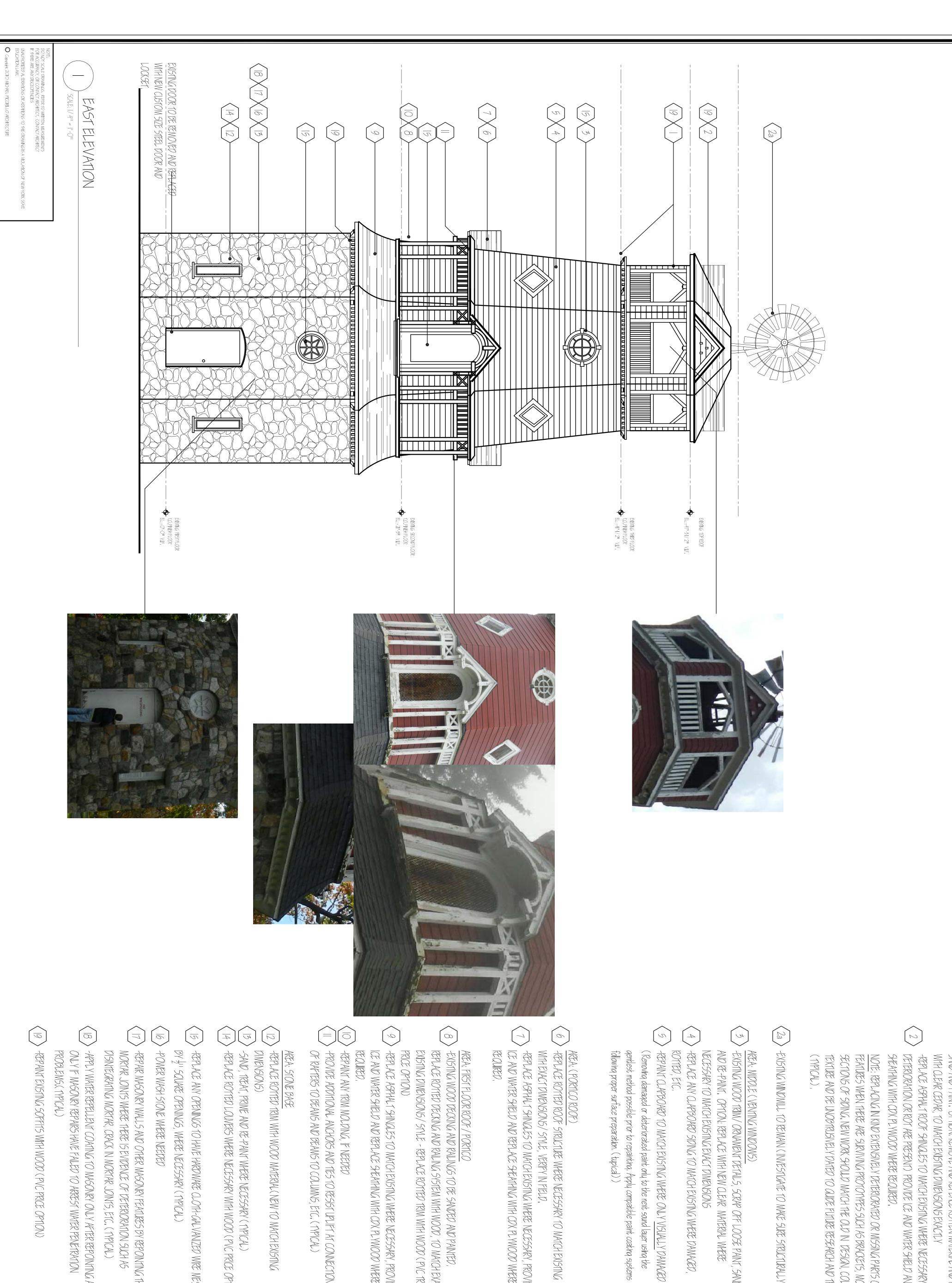
ARMONK, N.Y. 10504

MAPLE WAY

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FLOOR PLANS ROOF PLANS



Michael Piccirillo Architecture

EXISTING WOOD TRIM/ ORNAMENT/ MOLDING DETAILS TO REMAIN. REMOVE LOOSE PAINT,

SAND AND PAINT. OPTION: REMOVE AND REPLACE ROTTEN MATERIAL AND REPLACE IN KIND

WITH CLEAR CEDAR, TO MATCH EXISTING DIMENSIONS EXACTLY

-REPLACE ASPHALT ROOF SHINGLES TO MATCH EXISTING WHERE NECESSARY (WHERE SIGNS OF

DETERIORATION OR ROT ARE PRESENT) PROVIDE ICE AND WATER SHIELD AND REPLACE

SHEATHING WITH CDX PLYWOOD WHERE REQUIRED.

MRD FLOOR ROOF

FEATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS BRACKETS, MOLDING, OR SECTIONS OF SIDING, NEW WORK SHOULD MATCH THE OLD IN DESIGN, COLOR, AND TEXTURE AND BE UNOBTRUSIVELY DATED TO GUIDE FUTURE RESEARCH AND TREATMENT (TYPICAL). <u>NOTE;</u> REPLACING IN KIND EXTENSIVELY DETERIORATED OR MISSING PARTS OF WOOD

EXISTING WINDMILL TO REMAIN (INVESTIGATE TO MAKE SURE STRUCTURALLY SOUND)

- AREA: MIDDLE (VENTING WINDOWS)
  -EXISTING WOOD TRIM/ ORNAMENT DETAILS, SCRAP OFF LOOSE PAINT, SAND
  AND RE-PAINT, OPTION: REPLACE WITH NEW CLEAR MATERIAL WHERE NECESSARY TO MATCH EXISTING EXACT DIMENSIONS
- -REPLACE ANY CLAPBOARD SIDING TO MATCH EXISTING WHERE DAMAGED
- gentlest method possible prior to repainting. Apply compatible paint coating systems (Removing damaged or deteriorated paint only to the next sound layer using the following proper surface preparation. (tupical))
- WITH EXACT DIMENSIONS/STYLE, VERIFY IN FIELD.
  -REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDE AREA: (PORTICO ROOF)
  -REPLACE ROTTED ROOF STRUCTURE WHERE NECESSARY TO MATCH EXISTING
- CE AND WATER SHIELD AND REPLACE SHEATHING WITH CDX PLYWOOD WHERE
- REPLACE ROTTED DECKING AND RAILING SYSTEM WITH WOOD, TO MATCH EXACT -EXISTING WOOD DECKING AND RAILINGS TO BE SANDED AND PAINTED, EXISTING DIMENSIONS / STYLE - REPLACE ROTTED TRIM WITH WOOD ( PVC TRIM

PROJECT NAME:

WATER DISTRICT NO.2
WINDMILL # 2

REHABILITION

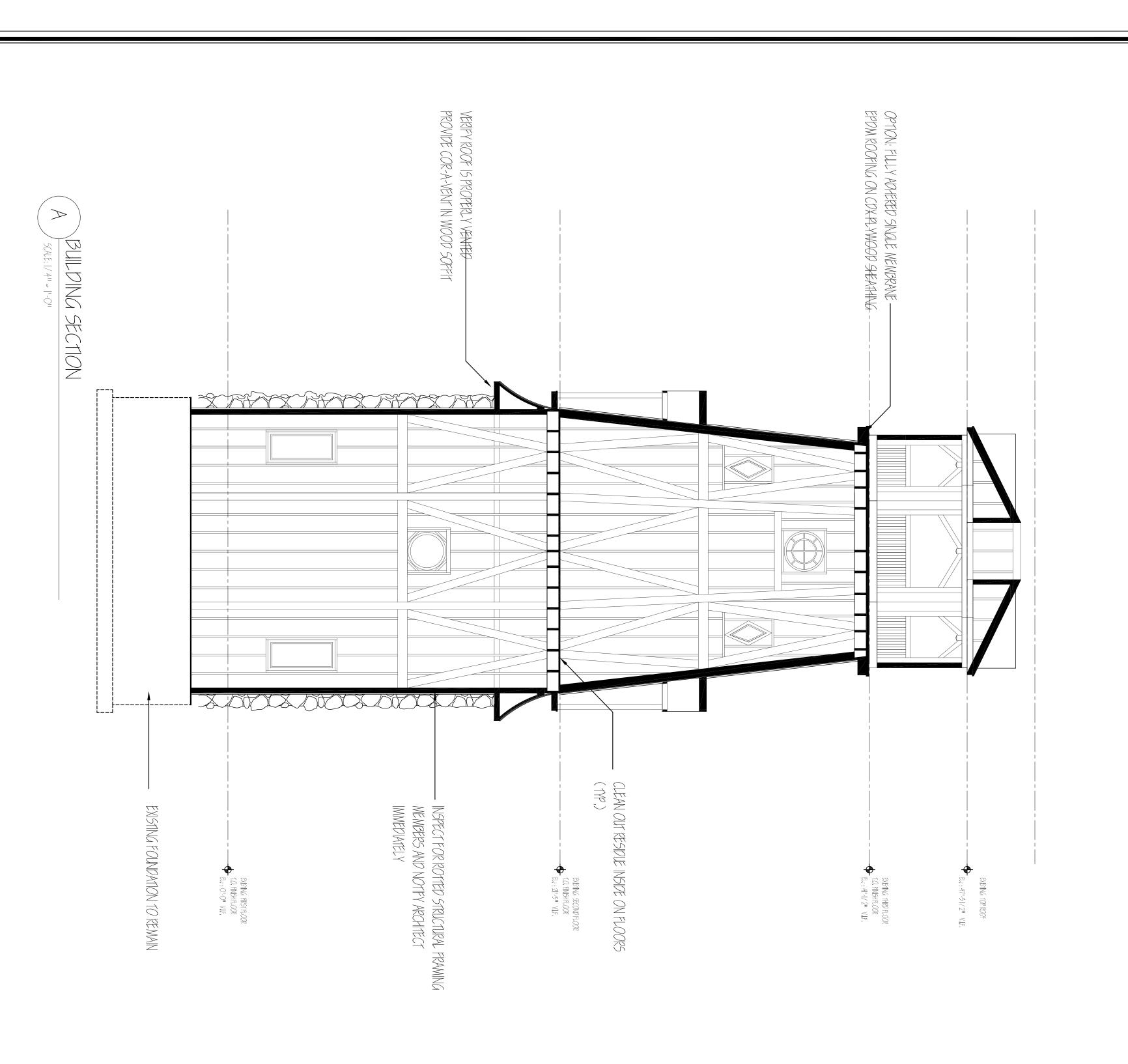
- PRICE OPTION)
  -REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDICE AND WATER SHIELD AND REPLACE SHEATHING WITH CDX PLYWOOD WHERE REQUIRED, ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDE
- OF RAFTERS TO BEAMS AND BEAMS TO COLUMNS, ETC. (TYPICAL) ADDITIONAL ANCHORS AND 11ES TO RESIST UPLIFT AT CONNECTIONS
- -REPLACE ROTTED LOUVERS WHERE NECESSARY WITH WOOD ( PVC PRICE OPTION)
- -REPLACE ANY OPENINGS TO HAVE HARDWARE CLOTH-GALVANIZED WIRE MESH  $\frac{1}{2}$
- -POWER WASH STONE WHERE NEEDED
- DISINIEGRATING MORTAR, CRACK IN MORTAR JOINTS, ETC. (TYPICAL) MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETERIORATION SUCH AS -REPAIR MASONRY WALLS AND OTHER MASONRY FEATURES BY REPOINTING THE
- -APPLY WATER REPELLENT COATING TO MASONRY ONLY AFTER REPOINTING AND ONLY IF MASONRY REPAIRS HAVE FAILED TO ARREST WATER PENETRATION
- -REPAINT EXISTING SOFFITS WITH WOOD (PVC PRICE OPTION)

	ARMONK, N.Y. 10504	MAPLE WAY	PROJECT ADDRESS;	

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ELEVATIONS



SWAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLE	MATCH EXISTING
autes (911 pla)	ALUMINUM	
70	AOOM MAN / AOOM DNIJSIXA	MATCH EXISTING
FASCIAS	400M MAN /400M UNISIXA	MATCH EXISTING
SIDING	WOOD CLAPBOARD ( 6" EXPOSURE V.I.F.)	MATCH EXISTING
STONE SIDING	10-11 NATURAL STONE	MATCH EXISTING
BRACKE15	EXISTING WOOD/ NEW PVC	MATCH EXISTING
MINDOMS	EXISTING WOOD/ NEW PVC	MATCH EXISTING
DOORS	EXISTING WOOD / NEW METAL	MATCH EXISTING
DECKS	EXISTING WOOD / NEW WOOD	MATCH EXISTING
RALING	WOOD WOOD WOOD	MATCH EXISTING

Michael Piccirillo Architecture

### The Secretary of the Interior's Standards for the Treat nent of Historic Properties, 1995

Sandards for Preservation

I. A property, will be used as it was historically, or be given a new use block maximizes the retortion of distinctive make additional work may be undertaken.

2. The historic character of a property, will be retained and preserved. The replacement of intact or repairable history. Each property, will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consider.

Changes to a property that have acquired historic significance in their own right will be retained and presenved. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved. The existing condition of historic features will be evaluated to determine the appropriate level of intervention receded. Where the seventing of detertors

treatments, if appropriate, will be undertaken using the gentlest means possible. Treatm ces will be protected and preserved in place. If such resources must be disturbed, mitiga ents triat cause damage to historic materials will not be used. Jon measures will be undertaken.

Standards for Rehabilitation

I. A property, will be used as it was resourced and preserved. The requires minimal change to its detrictive materials, features, spaces, and spatial relationships that characterize a property, will be reclaimed and preserved. The removal of detrictive materials or alteration of features, spaces, and spatial relationships that characterize a property, will be reclaimed and preserved. The removal of detrictive materials or alteration of features, spaces, and spatial relationships that characterize a property, will be recognized as a physical record of its time, place, and use. Changes that oreate a lates sense of historical development, such as adding conjectural features or elements from other 4. Changes to a property, will be recognized materials and construction techniques or examples of craftsmaship that characterize a property will be preserved.

5. Deterctive materials, features, findings, and construction replaced. Where the seventy of deterbration requires replacement of a distinctive feature, the new feature will match the did in destan, other substantiated by decumentary and physical evidence.

7. Orenizal or physical treatments, if appropriate, will be undertaken using the openious protects and preserved in place. If such resources must be deterbrated, features, and spatial relationships, or related new construction will not destan, the openious materials.

8. Archeelooptal resources will be protected and preserved in the incapity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if connect in the fibrare, the essential form and integrity of the instance property and its environment was also accounted and preserved and preserved and the property and its environment was a property for the resources of the instance of the contractions of the property and its environment was a property for the resource of the property and the undertaken in such a manner that, if connected in the essentia

Standards for Restoration

I. A property, will be used as it was historically or be open a new use which reflects the property? restoration period.

2. Neterials and features from the restoration period will be retained and preserved. The removal of neterials or alteration of features, spaces, and spatial relationships their characterize materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for fibure research.

4. Neterials, features, spaces, and finishes their characterize other historical periods will be documented prior to their alteration or removal.

5. Destination materials, features, firm the restoration period will be repaired rather than replaced. Where the seventh, of detertoration requires replacement of a districtive feature, the new feature of physical evidence. A false sense of history will not be created by adding conjectural including and physical evidence. A false sense of history will not be created by adding conjectural including and physical evidence. A false sense of history will not be created by adding conjectural including and physical evidence. A false sense of history will not be created by adding conjectural including and physical evidence.

ants that cause damage to historic materials will not be used, t be disturbed, mitigation measures will be undertaken.

8. Chemical or physical breatments, if appropriate, will be undertaken using the gentless means possible. Treatments the 9. Ancheological resources affected by a project will be protected and preserved in place. If such resources must be d 10. Posiquis their were rever executed historically will not be constructed.

Standards for Reconstruction

1. Reconstruction will be used to depict varished or non-surviving portions of a property, when documentary and physical 2. Reconstruction will be undertaken.

3. Reconstruction will holude measures to preserve any remembring historic instantals, features, and spatial relationships.

4. Reconstruction will be based on the accurate duplication of historic instantals, features, and spatial relationships.

5. A reconstruction will be based on the non-surviving historic property in materials, design, cdor, and texture.

5. A reconstruction will be clearly identified as a contemporary re-creation.

6. Posiquis that were never executed historically will not be constructed.

ARMONK, N.Y. 10504

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BUILDING SECTIONS

NOTE:  PO NOT SCALE DRAWINGS, REFER TO WRITTEN MEASUREMENTS  FOR ACCURANCY, OR CONTACT ARCHITECT. CONTACT ARCHITECT  IF THERE ARE ANY DISCECPENCIES  LINALIHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.	will be winstruction have mental manages in the ct.	ontractors' experience, expe ent shall not be disregarded ss. The Contractors' Input,	dance with macontractors red as a basencement of washilty for su	in of formal Change Order) by the Own charge is incurred.  The charge is incurred.	we the G.C. from this qu indicated.	ct and agreed upon by the ince of the Substantial Co by the G.C. without expension of damage done as correction of the defect	der this contract,  aterials or workmanship which d  aterials or workmanship which d	vance.  Tall provide and maintain temporary tologory  Tall temporary water light power a	adjustment.  m. G.C. shall take particular care to avoid damaqing any trees. lawns, shnubs, stone walls, curbing etc. that are not scheduled	I. G.C. shall visit the site and become familiar with all conditions prior to commencement of work. G.C. shall verify all dimensions and conditions shown on these drawings with those at the site.  Any variation that requires physical change shall be brought to the attention of the Architect prior to executing the	alety, care dynaetines or sylatent alety, care of adjacent or, compliance with state and feet aling safety is, and shall be, the r	land III takes, use tax, sale to construction of this proje ontract price.	s shall be removed from the site prior to substan on and prior to final acceptance.	arges, salletu, protection and maintument shall be the responsibility of the maintain the job clear of trash and	oclated with "additional coverauted to owner for owner's approvided additional coverage.	's Insu	safe, sensible manner, with periodic checks on the systems, and shall comply with state industrial commission and 0.5.H.A regulations.	imoved, and ris, and snow re I space hea	e. The G.C. shall present the completed building to the owner for acceptance, clean and ready for occupancy. All plass shall be cleaned and polished, floors vacuumed, carpets vacuumed,	arawings.  d. Temporary facilities for protection of tools and equipment shall conform to local regulations, and shall be the General Contractor's (G.C.) responsibility.	nt same. Likewise, the A shop drawings for substi th circumstances, work or ice until the Architect ha	ne Archtect, and u to the Architect o of specified mater ns, which may, in th	4 2, 2% 1, 2%	a. The scope of the work shall include all work as indicated on drawings 5P1, 5C100-102, A50, A100-A101, A200, A300, A600, E100	DIVISION I GENERAL REQUIREMENTS		on-standard hinges,	pick-up and/ or delivery of materials to site, security of same during construction etc.)  I. Decorative light fixtures ( Pendants, Wall Sconces, Surface Mounted interior).	vurchased by Owner and d by the General lation shall include the pro sary for ordering, arrangin	Specifications for: REHABILHTON OF EXISTING WINDMILLS SPRUCE HILL WINDMILL	
in accordance with the 1989 A.1.5.C., specification for structural steel allowable stress and plastic design, 9th edition, Structural shapes and plates shall conform to A.5.T.M. A572, grade 50.	e. Joists hangers, hurricane clips, post bases and caps, etc. shall be galvanized and as manufactured by SIMPSON STRONG TIE or approved equal.  f. Detailing, fabrication and erection of steel shall be	d. Steel members bearing on foundation walls ( if any) shall be set into beam pockets and shall be shimmed with steel plates. Beams shall be welded to column bearing plates ( if any).	carbon steel and shall conform to American Institute of Steel Construction and to A.S.T.M. A6 / A6M, "Standard Specification for General Requirements for Rolled Steel Plates, Shapes, Sheet Piling and Bars for Structural Use."	b. Pipe columns shall conform to A.S.T.M. A53 and shall be provided in sizes as indicated on drawing, c. All steel framing members ( if any) shall be A36	a, 511 anchors for wood sills shall be $\%''$ diameter bolts of 18 $''$ length $4'-O''$ $0.0'$ , max., $1'-O''$ from corners max.	General Requirements: Provide necessary labor, materials and equipment to erect all miscellaneous iron and steel as required, as detailed or noted on these drawings. The general requirements of Section I, shall apply to all work under this heading.	DIVISION 5 METALS	exposed/revealed, stone pavers shall be 2" thick with thermal edge.  Refer to sheet A100 for notes	b. Paving: All paving, terraces, stone wall caps, treads, tops at stone benches, etc. shall be bluestone (unless otherwise noted). Pavers in fields shall be 3/4" thick. At edges and/or where edge of bluestone is	y to all work und  New exterior  New exterio	DIVISION 4 MASONRY  General Requirements; Provide all necessary labor; materials, and equipment to complete all masonry shown or noted in those documents. The general requirements				n. This contract shall include rough grading, placement of 4" of topsoil, finish grading, hand rake, high quality grass seed and hay protection at all disturbed areas as a result of	drawings) required by site conditions or desired by owner shall be not be included in this contract.  m. Landscape design and construction shall not be included in this contract.	porcus IIII. I ooting grains are to run around permeter of new foundation where shown on Sht. SP, and shall the into on-site retainage containers as shown.  I. Retaining walls (other than those detailed on the	k. For footing drain, provide 4" P.V.C. perforated pipe laid in bed of crushed gravel and covered with 6" layer of crushed gravel and then porous fill to within 18" of finished grade.  Cover gravel with filter fabric. The G.C. shall furnish all porous fill Footing drains are to not permitter of	j. The entire residence shall receive new qutters and leaders. New qutters and leaders shall be connected to the footing drain system.	<ol> <li>Existing utility lines shall be located prior to excavation and shall be protected from damage during excavation and backfilling, and if damaged shall be repaired by the Contractor, at his expense.</li> </ol>	<ul> <li>h. All wrecked materials shall be removed from the premises, except as noted. In no case shall dangerous or excessive debris be allowed to accumulate.</li> </ul>	q. Stockpile topsoil in designated area, Redistribute removed topsoil in area adjacent to new work, Review with Owner, Dispose of topsoil and excavated materials as directed by the Owner or remove from site.	before backfilling, Excess excavated material shall be removed from the site. All finish grades to pitch away from building.	be removed before footings are poured.  f. Backfilling operations are the responsibility of the G.C. Foundation walls shall be adequately braced	e. No backfilling will be allowed if excavation is dug too low. excess depth to be filled with concrete. Excavations shall be kept free of standing water at all times, and all mud shall	<ul> <li>d. Excavate, fill and regrade site at area of new construction. Provide fences, barricades and/or lights around open trenches, excavations and other hazards.</li> </ul>	<ul> <li>Clear only enough area for additions, deck, and work area. Protect all trees, landscaping and other existing site amenities.</li> </ul>	b. It shall be the responsibility of the G.C. to locate any and all underground utilities which may exist on the site, prior to excavation.	a. Provide shoring as required to maintain structural integrity of buildings.	work shown or specified in these documents. The general requirements of Section I, shall apply to all work under this heading.	DIVISION 2 SITE WORK AND DEMOLITION  General Requirements: Provide all necessary labor, materials and equipment to perform all site of demolition
	p. All exterior doors shall have copper drip pan.	n. Crickets shall receive flat seam copper ( as the conditions may dictate or the Architect may require) over single-ply EPDM, fully adhered membrane.	wide ice and water shield by "Orace" waterproof underlayment below 20" wide strip copper flashing, Follow manufacturer's installation guidelines for all flashing, valley and ridge conditions, Provide "V" crimp flashing at all valleys	per manufacturer's recommendations, Jointic vents shall be model model #5-400 strip vent and the ridge vents shall be model #X-5 with AWF ridge vent.  m. No blind valleu will be allowed.  Provide open valleu with 56"	nd Ridge Vents  red by COR-A-VENT, INC. and shall be insochured to a common district.	base sealant conforming to Fication 17-5-0073 similar to location 17-5-0073 similar to location by TREMCO FACTURING CO, or approved scified by sealant manufacture	j. Foundation sealer shall be I'' x 5 5/8'' fiberdass sill sealer, with alum, Termite shield below. k. Caulking compound for all joints shall be one part	datlon vents shall be aluminum. S ect for approval. Vents shall he undatlon plan for locatlons.	nde ice and water shield by ORACE at all as recommended by manufacturer (min. 3	hing at roof valleys, roof edges, wall/roo cotions, window/door heads, chimney q, roof penetrations etc. shall be 16 oz. c. q. Use copper fasteners.	d. New roof shall match existing. e. Underlayment / Interlayment shall be 30 lb. asphalt saturated felt, unless otherwise noted.	polyethylene film. Moisture barrier shall be placed between all concrete slabs and gravel bed base as indicated on the drawings.	<ul> <li>a. Use bituminaus trowel-on damproofing on below arade sections of foundation wall.</li> <li>b. Moisture barrier shall be minimum 6-mil</li> </ul>	rent to install as detalled ents. The general require to all work under this heac	ON 7 THERMAL AND MOISTURE PRO al Requirements: Provide all labor, mate				beams, wood cellings, etc. as indicated on drawings, install as per manufacturer's recommendations.	f. <u>Wood Klooring</u> G.C. shall provide and install wood flooring (to be selected by owner) in areas scheduled. a. Provide all malided millwork casings crowns wood	k. Reach-in closets unless otherwise noted, shall have two  14" shelves of birch plywood with hardwood edges and a  handing pole. Provide center hander for pole over 4"-0"  long.	as. Aerjointed material will be accepted. Allwork and trim shall be shop primed or pi Armad at job before installation	journeymen and shall be filled, sanded smooth, and ready for painting and/ or staining, d. All decorative wood trim shall be as specified on	an be obtained thereby, er to DWG SIOI for wood framing ish - All finish work to be executed	structure, and the U.C.'s knowledge and experience count for more than the letter of these specifications. Chamges may be made, at no additional cost to the Owner, with the Architect's approval, if a better final	neral requirements of Section 1, she vunder this heading. Int is to build a thoroughly sound, wo	DIVISION 6 WOOD AND PLASTICS  General Requirements: Provide all labor, materials and equipment as shown or specified in these documents,	conform to ASTM 1957O and requirements of Residential Building Code State of New York.	i. Welded wire fabric shall conform to the welded wire fabric manual of standard practice, current edition, A.S.T.M. A82, or A185, or A496, or A497.	h. Welding shall be performed in accordance with the requirements of A.W.S. DI.I using E7OXX electrodes.	a. Connections shall be standard A.I.S.C., bolted connections; minimum two bolts per each side of connection, Bolts shall be $x^{*}$ diameter A.S.T.M. AS25-N.
						DIVISION 12 FURNISHINGS- Not Used  DIVISION 14 CONVEYING SYSTEMS- Not Used	5 part of the base EQUIPMENT- No	installation of accessories,  c. The General Contractor shall provide all electrical and mechanical hook-ups for equipment and specialties furnished	b. The General Contractor shall install all bathroom accessories, which will be purchased by Owner. Verify locations and provide required blocking for	The smoke detectors shall be a part of the dectrical system and shall be manufactured by 5implex or equal. 5moke detectors shall be hard wired (line voltage) and interconnected such that if one unit is activated, all units will sound.	General Requirements: G.C. shall provide all labor and materials to install the specialty items, shown, noted, or specified in these documents. The general requirements of Section I shall apply to all work under this heading.  a. Smoke detectors shall be furnished and installed by G.C.	between each c	CABOT'S standard line.  2. All staining shall be a minimum prime plus I-coat job of the highest quality workmanship, free of runs and sags.  5. New wood floors shall be sanded and finished with 2 coats	d, <u>Stain</u> I. All stain products shall be CABOT BRAND semi-transparent stain. The Architect and Owner shall select colors from	The condition of a surface to be painted shall not be an excepted by the Architect, prior to painted shall not be an excuse for faulty results unless first reviewed and accepted by the Architect, prior to painting.  Clean all baint off class, hardware floors, etc.	provide samples of each color in each space for Owner's approval.  4. EXTERIOR: Siding and exterior doors shall be pre-primed and shall receive two coats of semi-gloss latex.	straight cuts.  Straight cuts.  3. INTERIOR: The Intent is to paint all walls, cellings, trim,  mauldings, doors, and windows, etc. of the rooms listed in the  Finish Schedule. The Owner shall select colors. G.C. shall	frim shall receive "semi-gloss". Samples of all of these finishes shall be provided and approved by the Owner prior to purchase.  2. All painting shall be a minimum prime plus 2-coat job of the highest guality workmanship free of runs and sacs with	products shall be from BENJAMINE MOV Auct lines for the respective tupes, s base bid (3) tupes of paint for each r g "pearl" finish. Cellings shall receive"	ir 5.	receive cement board.  b. Interior ceramic tile ( if any) shall be provided by owner and installed by G.C. who shall provide all	X on ceilings and walls, taped, filled (5 coat application) and sanded smooth. Provide all metal casing, beads, drywall trim at internal and external corners and edges. Bathroom walls shall receive MR Gupsum Board. Shower and tub surrounds shall	is of Section I shall apply to all work under shall be 1/2" thick, taped, filled (5 coal amouth. Firecode driwall shall be 5/8"	General Requirements: G.C. shall provide all material and labor to finish interior rooms and building exterior as shown, noted, scheduled, or specified in these documents. The general	SAKSINIA 6 NOISINIA	c. The G.C. shall review all window and door orders with the manufacturer's representative to coordinate specified windows and doors with intended results shown and indicated on drawings.	for each door.  I.All millwork and trim shall be shop-primed or primed and backprimed at job before installation.	I. Exterior doors I. Exterior doors Shall be installed complete, caulked, weather-stripped with oak threshold and hardware per schedule, G.C. shall verify the jamb extension requirements	a. Doors - All doors shall be sealed, top, bottom, and all slides, as defined in Section 9 Pinishes, and shall be operating since and smoothli	windows, and glazing as detailed, scheduled, and/or specified in these documents. The general requirements of Section I shall apply to all work under this heading.	<u>DIVISION 8 DOORS AND WINDOWS</u> General Requirements: Provide and install all doors.
			loads appropriate to the side. Control measures to uch as wetting or covering the stockpiles. Keep as	Place stockpiles and other spoil piles away from the drainage system to minimize sediment transport. If the stockpile and/or spoil pile must remain on-site overnight, or if the weather conditions indicate the chance for precipitation, A) cover the pile with water repellent material to prevent erosion and/or B) install silt for the conditions in the chance of the pile of the p	O: Weekly Inspections by a University PEPC trained Certified Ptorm Water Management Operator as well as periodic inspections within 24 hours of any rainfall will be required. These inspections may result in recommendations for routine maintenance of the soil erosion control devices, as well as additional controls.	diately removed by the contractor.  ther stabilization shall be required immediately are shall maintain dust control on the site through the stabilization shall maintain dust control on the site through the stabilization in the site through the stabilization of the site stabilization of the si	around the base of the pile to prevent to methods appropriate to the side. Controverting or covering the stockpiles. Kee wetting or covering the stockpiles.	ed by construction machinery.  ther spoil piles away from the dra  ll pile must remain on-site overnight  cover the pile with water repellent.	5. Silt fence shall be maintained at all times throughout the construction period. If repair or replacement is necessary, it shall be performed according to the manufacturer'Os specifications. Maintenance includes the removing of built-up sediment accumulates to bothe height of the fence. Contractor shall remove, replace, retrench, or re-backfill the fence if it fails. Additionally, the contractor shall reinstall any portion	I. Install temporary inlet filters at all adjacent and down-gradient storm water inlets, catch basins and manholes that may be impacted. Catch basin inlet filters shall be maintained clean at all times throughout the construction period. If a filter has holes or is inundated with sediment, the filter will require replacement.  2. Install an anti-tracking pad at the site entry and exit(s). The anti-tracking pad should be constructed of geotextile fabric with limestone over it.	cormanent by the measures will be maintained by the death of the Plumds & Waste Management Department and the Plum Manager will be responsible for maintenance of an umbing Shop foreman will be responsible for the maintenance water drainage system piping.  The storm water drainage system piping in the storm water drainage system MAINTENANCE NATERIAL SEDIMENTATION CONTROL MAINTENANCE NATERIAL SEDIMENTATION CONT	ipon completion of the final earth change. It inge, then maintain temporary soil erosion and is control measures are in place and the action control measures are in place and the action of the control measures will be maintained and scaping depends on the control of the contr	ntation control measures after permanent soil erosi ("Stabilized" means the establishment of vegetat soil to ensure its resistance to soil erosion, sliding mplete permanent soil erosion control measure for t	or permanent control measures shall be designed and change at a non-erosive velocity, sporary soll erosion and sedimentation control lactivity and maintain the measures on a daily	shortest period of time. Nove sediment caused by accelerated soil erosion from runoff water before it leaves the e.	dance with rule 17( of the Natural Res to the Information arth change author Design, construct,	SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE	TECHNICAL BULLETIN INSTRUCTIONS.  SEE SECTION 06 60 00 PLASTIC FABRICATIONS SPECIFICATIONS FOR AZEK.	OL JOR KIND.  INSTALLATION:  COMPLY WITH MANUFACTURERIS PRODUCT CATALOG INSTALLATION INSTRUCTIONS AND PRODUCT	LI TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED, CONSULT ADHESIVE  MANUFACTURER TO  DETERMINE SUITABILITY.  C. SEALANTS:	L RESULT  IMITED WORKING TIME AND MAY REDUCE ADHES  URFACES TO BE GLUED SHOULD BE SMOOTH, CL	ADEQUATE BONDING TIME.  I AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.  I IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH	CELLULAR PVC CEMENT, TO PREVENT JOINT SEPARATION.  ITHE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND / OR FASTENED ON EACH SIDE OF THE  JOINT TO ALLOW	ESIVES; VE A VE A	)	ST BE AVOIDED, BE-DRILLING IS TYPICALLY NOT REQUIRED UNLESS VALLED IN LOW TEMPERATURES,	II FASTENERS MUST BE INSTALLED NO MORE THAN 2" FROM THE END OF EACH BOARD,  II AZEK SHOULD BE FASTENED INTO A FLAT, SOLID SUBSTRATE, FASTENING AZEK INTO HOLLOW OR  UNEVEN AREAS		<ul> <li>THE FASTENERS SHOULD BE LONG ENOUGH TO PENETRATE THE SOLID WOOD SUBSTRATE A MINIMUM</li> <li>OF I I / 2 7.</li> <li>T STANDARD NAIL. GINS WORK WELL. WITH AZEK TRIM PRODUCTS</li> </ul>	BLE FASTENER SUCH AS STA SIGNED FOR WOOD TRIM AN RADS AND WIRE NAILS MUST	

PROJECT NAME:

WATER DISTRICT NO.2

WINDMILL #2

REHABILITION

Michael Piccirillo Architecture

PROJECT ADDRESS:

ARMONK, N.Y. 10504

MAPLE WAY

BUILDING SPECIFICATIONS

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