

Michael Piccirillo Architecture

REHABILITATION

MAPLE WAY
ARMONK, NEW YORK 10504




















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




CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA										NOTES/DETAILS	
22010	IND	31000	31000	31000	SPECIAL CLIMATE ZONE				UNIFORM	100% AVERAGE	FLOOD
					WIND DIRECTION	WIND SPEED	TEMPERATURE	RELATIVE HUMIDITY			
22010	31000	31000	31000	31000	WIND DIRECTION	WIND SPEED	TEMPERATURE	RELATIVE HUMIDITY	UNIFORM	100% AVERAGE	FLOOD
22010	31000	31000	31000	31000	WIND DIRECTION	WIND SPEED	TEMPERATURE	RELATIVE HUMIDITY	UNIFORM	100% AVERAGE	FLOOD
22010	31000	31000	31000	31000	WIND DIRECTION	WIND SPEED	TEMPERATURE	RELATIVE HUMIDITY	UNIFORM	100% AVERAGE	FLOOD

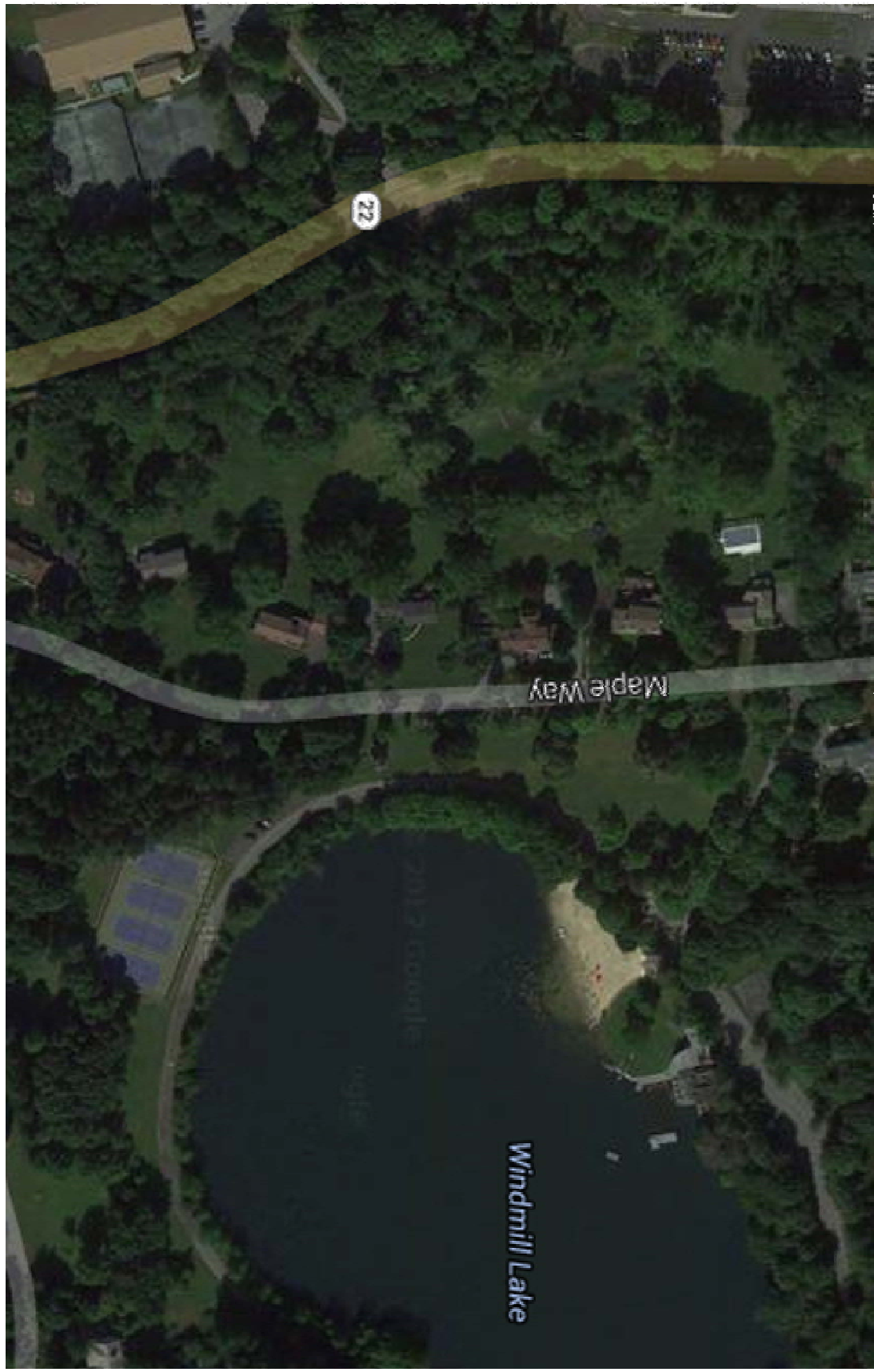
GENERAL NOTES

- [illegible]

[illegible][illegible][illegible]

	STIP.
	ROLL LUMBER
	NON-CONSTRUCTIVE BLOCKING
	PI WOOD
	PIPS WOOD
	PIPE PIPE INSULATION
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VIEW OR SECTION FORMATION	+	
LEVEL LINE		
VIEW OR SECTION CUTS		
COLUMN REFERENCE		
SECTION REFERENCE		
SECTION NUMBER		
DRAWING NUMBER		
DETAIL NUMBER		
DRAWING NUMBER		
SECTION REFERENCE		
SECTION NUMBER		
COLUMN REFERENCE		
VIEW OR SECTION CUTS		
SECTION REFERENCE		
SECTION NUMBER		
DRAWING NUMBER		
DETAIL NUMBER		
DRAWING NUMBER		

A map of the Windmill Lake area. Windmill Lake is a large blue irregular shape in the center. Roads shown include Windmill Rd running vertically on the left, Maple Way running horizontally at the top, and Windmill Rd running horizontally at the bottom. A road labeled 'Mill Ln' branches off Windmill Rd at the bottom. A small red dot on Maple Way is labeled 'Windmill Club'. The lake is labeled 'Windmill Lake' in the center.[illegible]

NO.	DATE	REMARKS
1	8/30/16	REVISED

PROJECT NAME:
WATER DISTRICT NO.2
WINDMILL #2
REHABILITATION

PROJECT ADDRESS:
MAPLE WAY
ARMONK, N.Y. 10504

1000000

MICHAEL A. PICCIRILLO, AIA
962 EAST MAIN STREET
SHRUB OAK, NEW YORK 10888
TELEPHONE: 914-566-9838
FACSIMILE: 914-566-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

GENERAL NOTES					
TITLE SHEET					
SHEET:	AS NOTED		DWG.	B-7-17	
DESIGNED BY:	SANA				
CHECKED BY:	MP				
I	OK	I			
			T-2		

WALL AND
DOOR SYMBOL

- EXISTING WALL TO REMAIN
NEW WALLS TO BE CONSTRUCTED,
SEE PLUMBING SECTION FOR DETAILS
EXISTING DOOR TO REMAIN
NEW DOOR TO BE INSTALLED

NO.	DATE	SCALE
1	8/13/16	1/8"=1'-0"

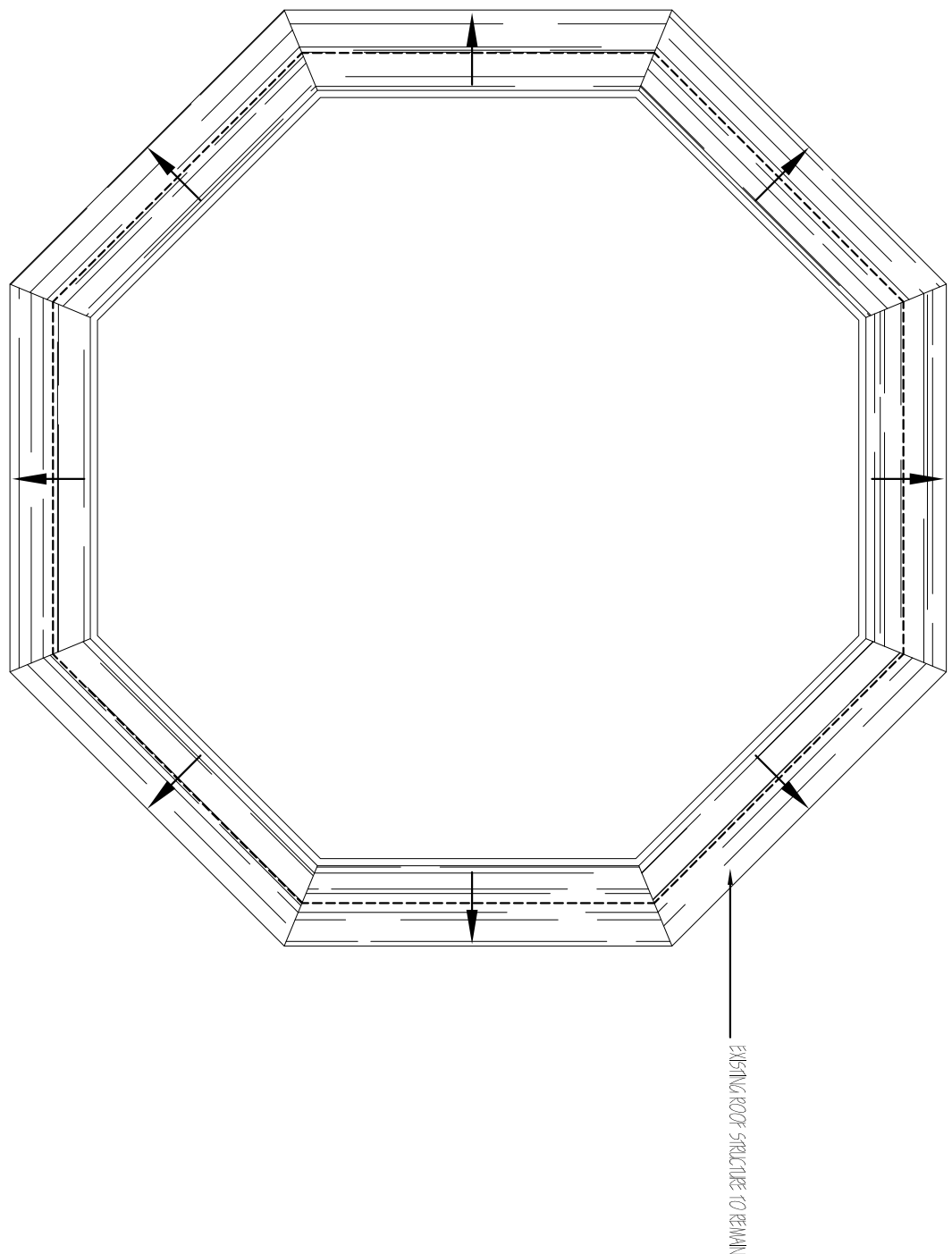
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WINDMILL # 2
REHABILITATION

PROJECT ADDRESS:
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ARMONK, N.Y. 10904

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962 EAST MAIN STREET
SHRUB OAK, NEW YORK 10588
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FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

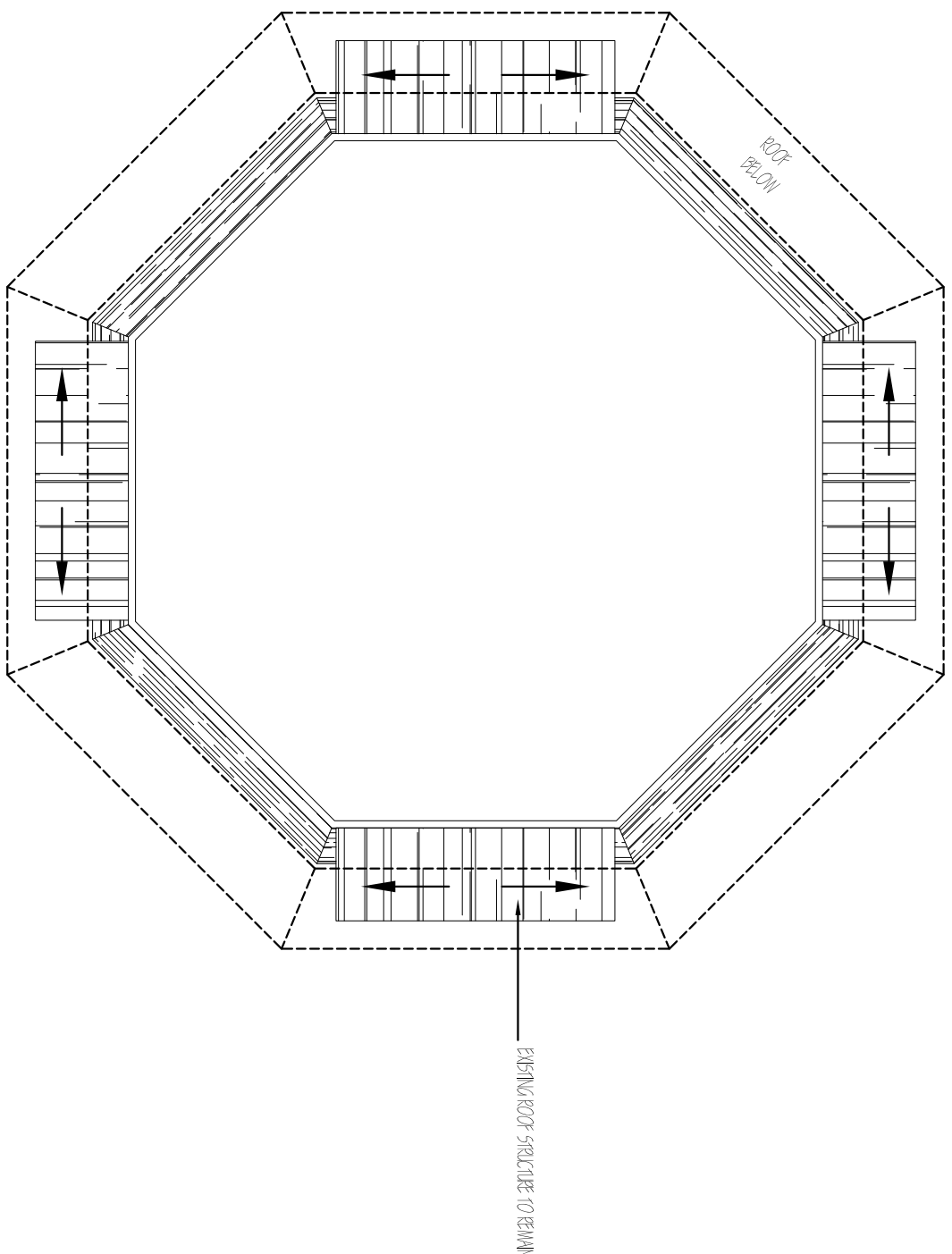
FLOOR PLANS
ROOF PLANS

SCALE	AS NOTED	DATE
DRAWN BY: GMA		8-17-17
CHECKED BY: MPP		
		A-102



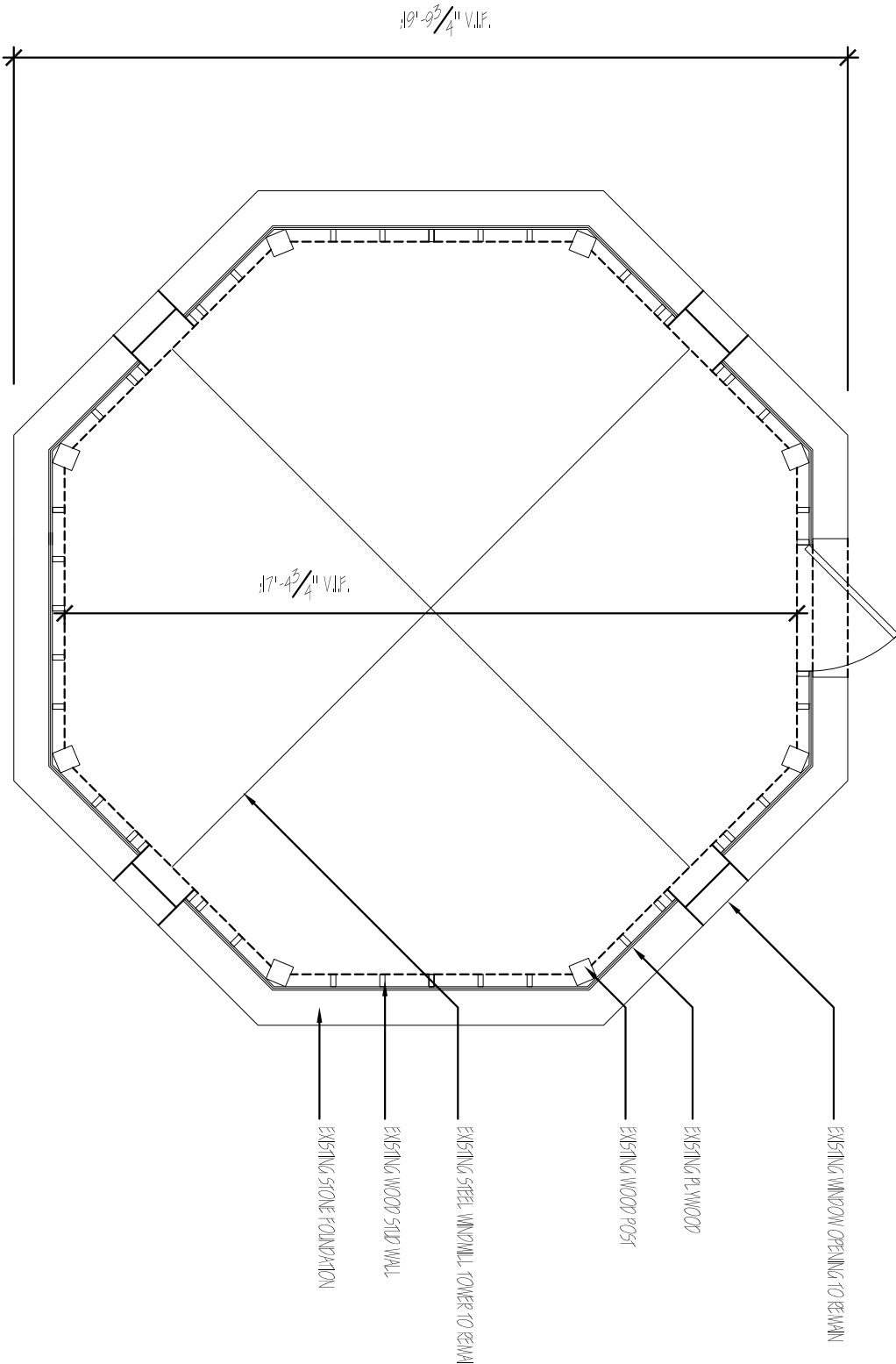
FIRST FLOOR ROOF PLAN

SCALE: 1/4" = 1'-0"



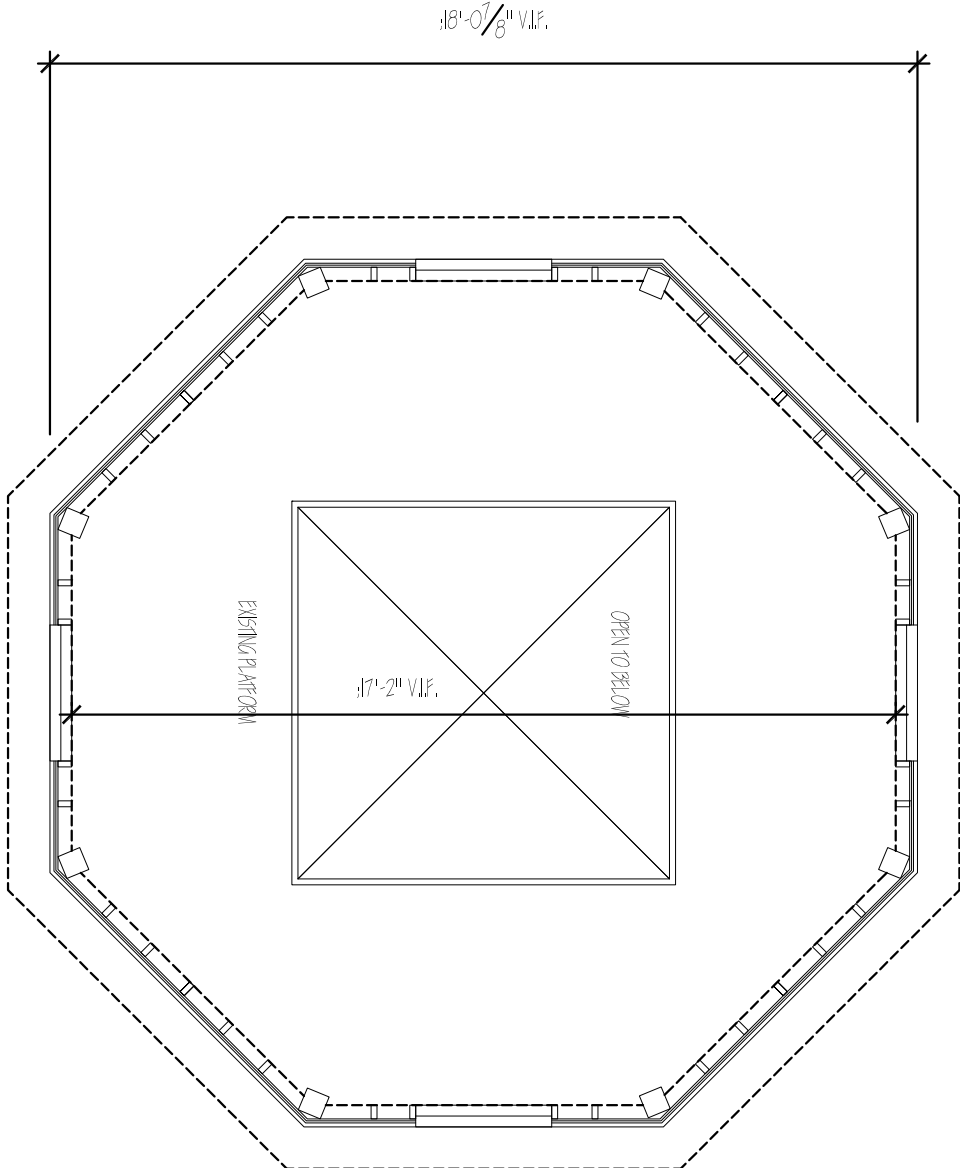
SECOND FLOOR ROOF PLAN

SCALE: 1/4" = 1'-0"



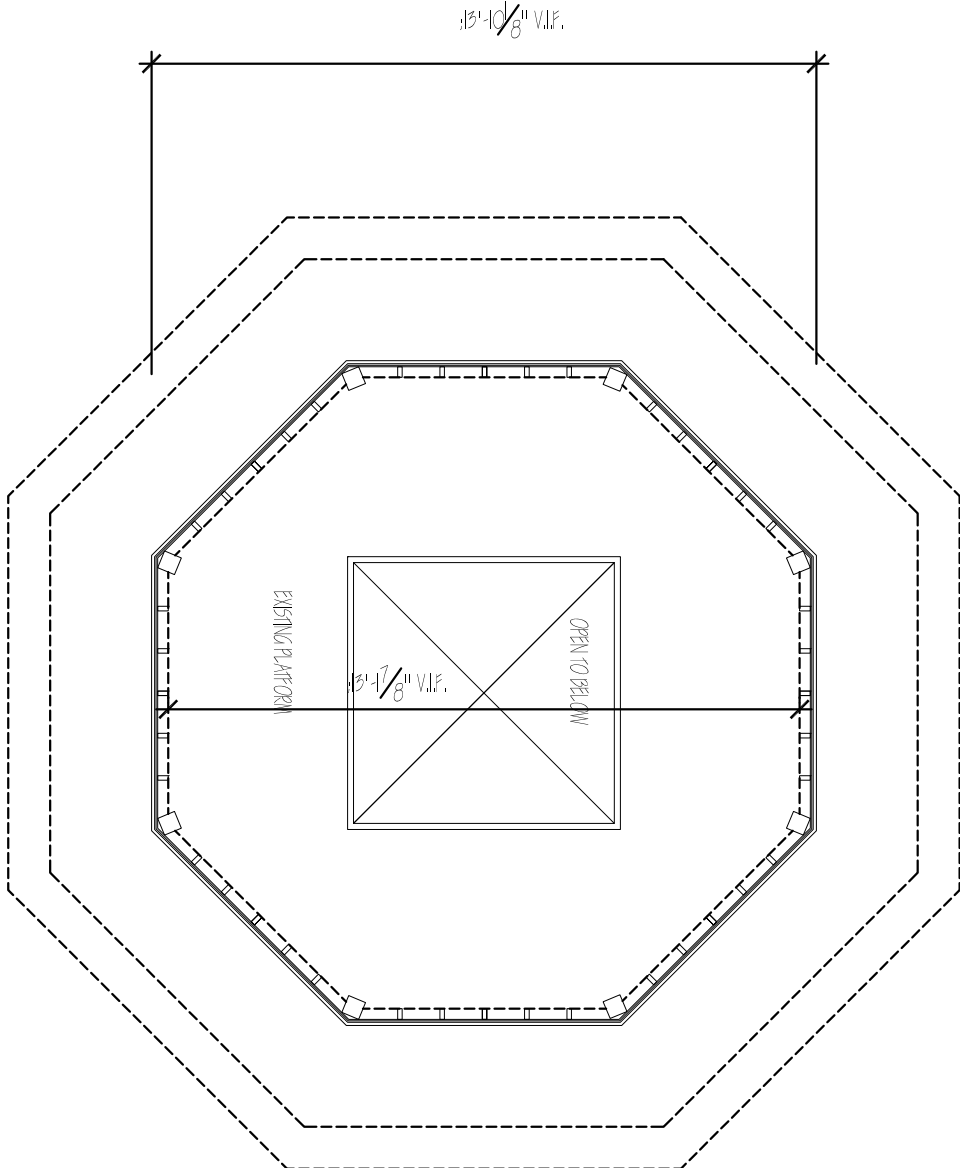
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



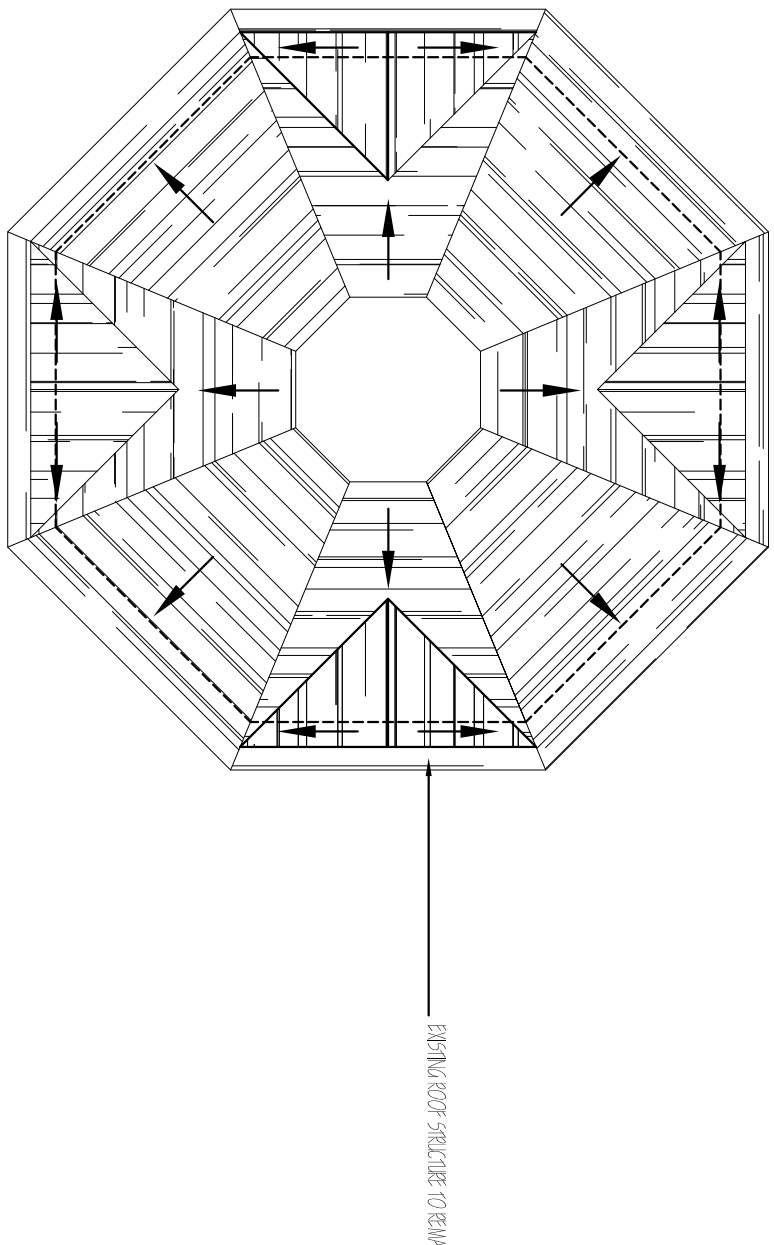
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



THIRD FLOOR ROOF PLAN

SCALE: 1/4" = 1'-0"

GENERAL ROOFING NOTES

1. REFER TO CONSTRUCTION OF WORK OR REFERENCE OF COMPANIONS CONSTRUCTION INSTRUCTIONS AND RETURN THE BUILDING CONSTRUCTION AND PLUMBING OF THE NEW CONSTRUCTION. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW CONSTRUCTION. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW CONSTRUCTION.

2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CODES AND APPLICABLE MUNICIPAL ORDINANCES.

3. VERIFY ALL NEW CONSTRUCTION ACCORDANCE WITH THE OWNER'S REQUIREMENTS AND MUNICIPAL ORDINANCES.

4. PROVIDE ALL ACCESSORIES, MATERIALS, FINISHES, ETC. FOR COMPLETE ROOF INSTALLATION.

5. ALL ROOFING REQUIREMENTS OF THE WORK INSTRUCTIONS OF THE OWNER'S REQUIREMENTS AND MUNICIPAL ORDINANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW CONSTRUCTION. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW CONSTRUCTION.

GENERAL NOTES

1. PROVIDE AND INSTALL ROOFING MATERIALS BY PROVIDING PROPER DRAINAGE TO THE WATER IS NOT ALLOWED TO STAY ON THE ROOF SURFACE OR ACCUMULATE IN ACCUMULATE FEATURES.

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WINDMILL # 2			
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PROJECT ADDRESS:			
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TELEPHONE: 914-368-9838			
FACSIMILE: 914-368-9839			
michael@mpiccirilloarchitect.com			
www.mpiccirilloarchitect.com			
ELEVATIONS			
SCALE:	AS NOTED	DATE:	8-17-17
DESIGNED BY:	SHAW	A-202	
CHECKED BY:	MAP		
1 OF 1			

AREA: THIRD FLOOR ROOF

- 1 EXISTING WOOD TRIM / ORNAMENT DETAILS TO REMAIN. REMOVE LOOSE PAINT, SAND AND PAINT. OPTION: REMOVE AND REPLACE ROTTEN MATERIAL AND REPLACE IN KIND WITH CLEAR CEDAR. TO MATCH EXISTING DIMENSIONS EXACTLY
- 2 REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY (WHERE SIGNS OF DETERIORATION OR ROT ARE PRESENT) PROVIDE ICE AND WATER SHIELD AND REPLACE SHEATHING WITH GYP R/WOOD WHERE REQUIRED.

NOTE: REPLACING IN KIND EXTENSIVELY DETERIORATED OR MISSING PARTS OF WOOD FEATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS BRACKETS, MOLDING, OR SECTIONS OF SHING. NEW WORK SHOULD MATCH THE OLD IN DESIGN, COLOR, AND TEXTURE AND BE UNOBSERVABLY JOINED TO GAUZE FINGER RESEARCH AND TREATMENT (TYPICAL).

- 2a EXISTING WINDMILL TO REMAIN (INVESTIGATE TO MAKE SURE STRUCTURALLY SOUND)

AREA: MIDDLE (VENTING WINDOWS)

- 3 EXISTING WOOD TRIM / ORNAMENT DETAILS. SCRAPE OFF LOOSE PAINT, SAND AND RE-PAINT. OPTION: REPLACE WITH NEW CLEAR MATERIAL WHERE NECESSARY TO MATCH EXISTING EXACT DIMENSIONS
- 4 REPLACE ANY CLAPBOARD SIDING TO MATCH EXISTING WHERE DAMAGED, ROTTED, ETC.
- 5 RE-PAINT CLAPBOARD TO MATCH EXISTING WHERE ONLY VISUALLY DAMAGED (Removing damaged or deteriorated paint only to the next sound layer using the opti-stripe method possible prior to repainting. Apply compatible paint coating systems following proper surface preparation. (typical))



AREA: (PORTICO ROOF)

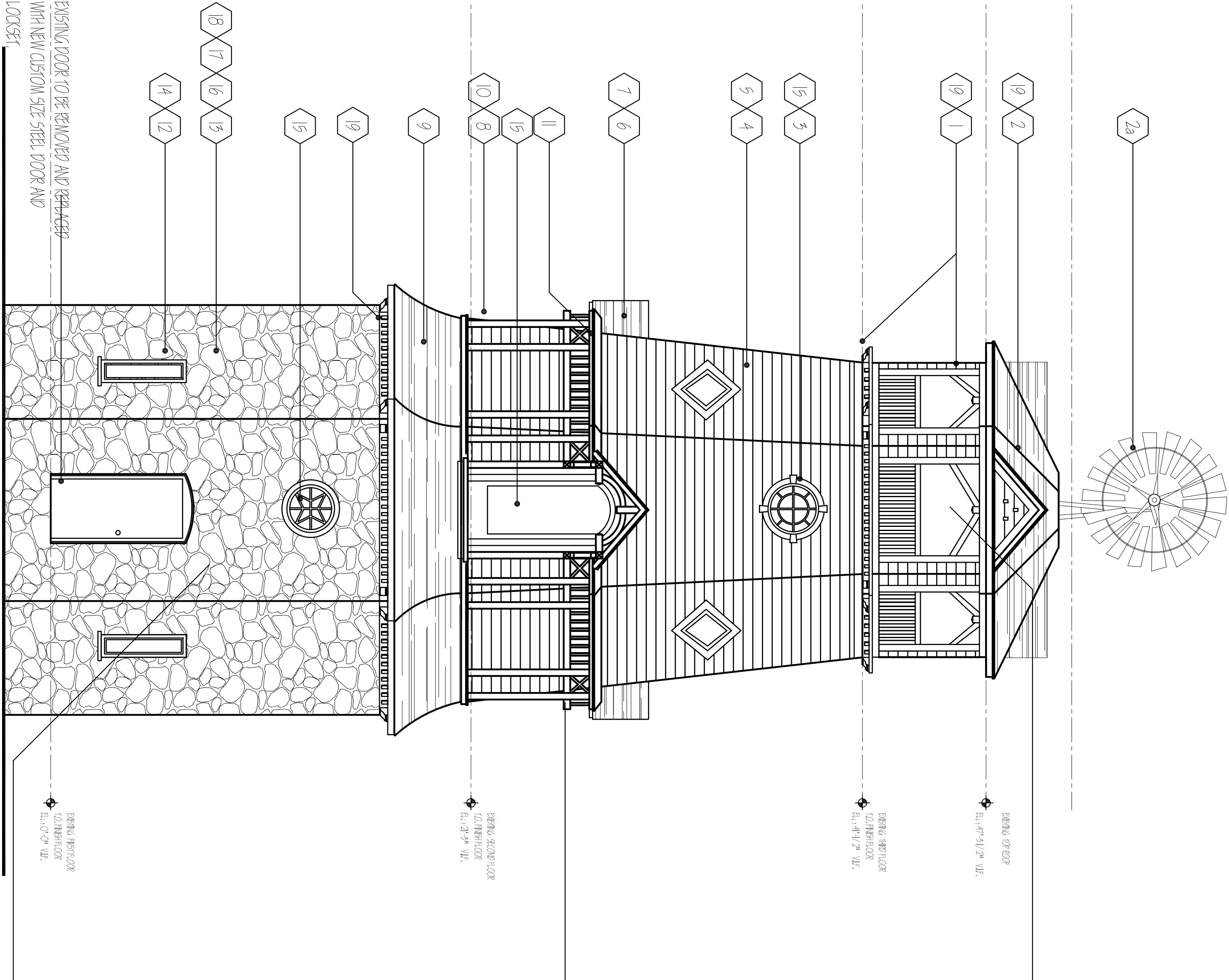
- 6 REPLACE ROTTED ROOF STRUCTURE WHERE NECESSARY TO MATCH EXISTING, WITH EXACT DIMENSIONS / STYLE. VERIFY IN FIELD.
- 7 REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDE ICE AND WATER SHIELD AND REPLACE SHEATHING WITH GYP R/WOOD WHERE REQUIRED.

AREA: FIRST FLOOR ROOF / PORCH ROOF

- 8 EXISTING WOOD BECKING AND RAILINGS TO BE Sanded AND PAINTED. REPLACE ROTTED BECKING AND RAILING SYSTEM WITH WOOD, TO MATCH EXACT EXISTING DIMENSIONS / STYLE - REPLACE ROTTED TRIM WITH WOOD (PVC TRIM PRICE OPTION)
- 9 REPLACE ASPHALT SHINGLES TO MATCH EXISTING WHERE NECESSARY, PROVIDE ICE AND WATER SHIELD AND REPLACE SHEATHING WITH GYP R/WOOD WHERE REQUIRED.
- 10 RE-PAINT ANY TRIM MOLDING, IF NEEDED
- 11 PROVIDE ADDITIONAL ANCHORS AND TIES TO RESIST UPLIFT AT CONNECTIONS OF RATTERS TO BEAMS AND BEAMS TO COLLUMS, ETC. (TYPICAL)

AREA: STONE BASE

- 12 REPLACE ROTTED TRIM WITH WOOD MATERIAL (NEW TO MATCH EXISTING DIMENSIONS)
- 13 SAND, TREAT, PRIME AND RE-PAINT WHERE NECESSARY (TYPICAL)
- 14 REPLACE ROTTED LOBBIES WHERE NECESSARY WITH WOOD (PVC PRICE OPTION)
- 15 REPLACE ANY OPENINGS TO HAVE HARDWARE CLOTH-CAL VAULTED WITH MESH 1/2" BY 1/2" SQUARE OPENINGS, WHERE NECESSARY (TYPICAL)
- 16 FLOWER WASH STONE WHERE NEEDED
- 17 REPAIR MASONRY WALLS AND OTHER MASONRY FEATURES BY REPAIRING THE MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETERIORATION SUCH AS DISINTEGRATING MORTAR, CRACK IN MORTAR JOINTS, ETC. (TYPICAL)
- 18 APPLY WATER REPELLENT COATING TO MASONRY ONLY AFTER REPAIRING AND ONLY IF MASONRY REPAIRS HAVE FAILED TO ADEQUATE WATER PENETRATION PROBLEMS (TYPICAL)
- 19 RE-PAINT EXISTING SOFFITS WITH WOOD (PVC PRICE OPTION)



EAST ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:
1) ALL SCALE DIMENSIONS, EXCEPT WHERE SHOWN OTHERWISE, ARE TO FACE UNLESS NOTED OTHERWISE.
2) ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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