

TEOSIGÜENZA ARCHITECT P.L.L.C.

460 Old Post Road 2A,
Bedford, NY 10506 914.234.6289 ts@teosiguenza.com

June 22, 2020

Town of North Castle Planning Board
17 Bedford Road Armonk, New York 10504

Attn: Christopher Carthy, Chairman

Re: Barasch residence
6 Sterling Road S.
Accessory Apartment, Special Permit and Site Plan Approvals
APP. #2020-025 – SBL 108.02-1-30

Dear Chairman Carthy and Members:

On behalf of the owner Mr. and Mrs. Richard Barasch, we are pleased to submit revised documents for your continued review of our application as part of our Special permit request.

Project Summary:

The proposal consists of the conversion of an existing four-car garage structure into a guest cottage with two garage bays in the lower level. Such structure was built prior to 1980.

Existing driveway and access to the site will remain unchanged.

There is an existing septic 8-bedroom system, no expansion or other improvements are needed to accommodate this cottage.

The incorporation of the basketball court has been eliminated from the proposal.

The property is a 3-acre lot in the R-2A Zoning District. It is acknowledged that the current Gross Land Coverage permitted under the Zoning Ordinance is exceeded and that the 120 SF expansion of the guest cottage will slightly increase that non-conformity. We are scheduled to be in front of the ZBA on 8/6/20 to request relief on this existing non-conformity.

Notes regarding General Comments of staff memo:

1. and 2. The proposed structure is to be renovated and expanded, not demolished.
Accessory structure has been in existence prior October 11, 1984. Back-up information attached.

3.-Plans and calculations are attached to illustrate square footage of Main building and Cottage.
The Gross floor area of the existing residence is 6,398 SF and proposed Cottage is 1,997 SF, (about 31%). If the main house was expanded on second floor to the allowed FAR, the percentage of the cottage would be about 20% of its size.

We are requesting from the Planning board a relief on the area percentage.

4. Gross floor area calculations backup and gross floor area calculations backup data and summary tables are included

5. We are scheduled to be in front of the ZBA on 8/6/20 and ARB on 8/12.

6. No tree removal is proposed, a note stating such has been added to the plan.

7. Pursuant to Section 355-21 of the Town Code we are requesting relief from the Planning Board by special permit to authorize the proposed slightly taller and larger structure.

8. Documentation is attached, documenting that the structure existed prior to October 11, 1984.

9. Documentation is attached showing that that the principal dwelling CO was issued more than four years ago, and that the Applicant has owned the property for about 10 years.

10. The site plan depicts the location of off-street parking for the principal dwelling (2 spaces) and for the accessory apartment (2 spaces).

Notes regarding Consultant's memo:

1. There is an existing septic 8-bedroom system. The Health Department has confirmed that the connection to the septic system would require no expansion or other improvements to accommodate the guest cottage.
2. Zoning Conformance Table has been revised to reflect updated proposal
3. Setback lines have been updated.

All other comments may not apply given the elimination of the basketball court, or have been addressed.

Submitted information and Drawings:

The below listed Plans and associated materials have been re-submitted in support of the proposed application:

Prepared by Nathaniel J. Holt, P.E.,

Existing Conditions Plan

Site Plan

Stormwater Mitigation with Erosion Controls Plan

Gross Land Coverage and EAF

Prepared by Teo Siguenza AIA

Floor Plans and elevations

FAR backup plans (Main House and Cottage)

This Memo

Foil requested from town

Deed

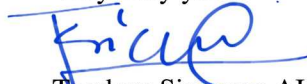
FAR backup plans

Garage CO_6 Sterling Rd S

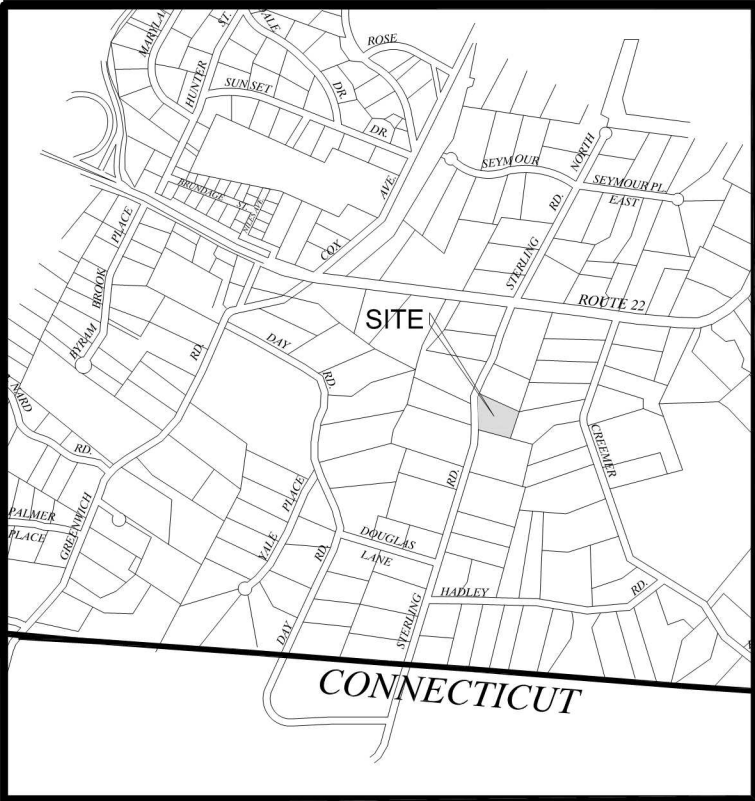
Original Garage Plans

We trust the attached documents and above clarifications will facilitate your review and we request placement on the next Planning Board agenda. We appreciate your consideration of this proposal.

Very truly yours



Teodoro Siguenza AIA.



VICINITY PLAN

PROPERTY DATA

1. PROPERTY OWNER: RICHARD AND RENEE BARASCH
6 STERLING ROAD SOUTH
ARMONK, NEW YORK 10504
2. TAX MAP DESIGNATION: 108.04-2-28 (Current)
2/ 17/5.F (Previous)
3. ZONING DISTRICT R-2A SINGLE FAMILY RESIDENTIAL 2 ACRE

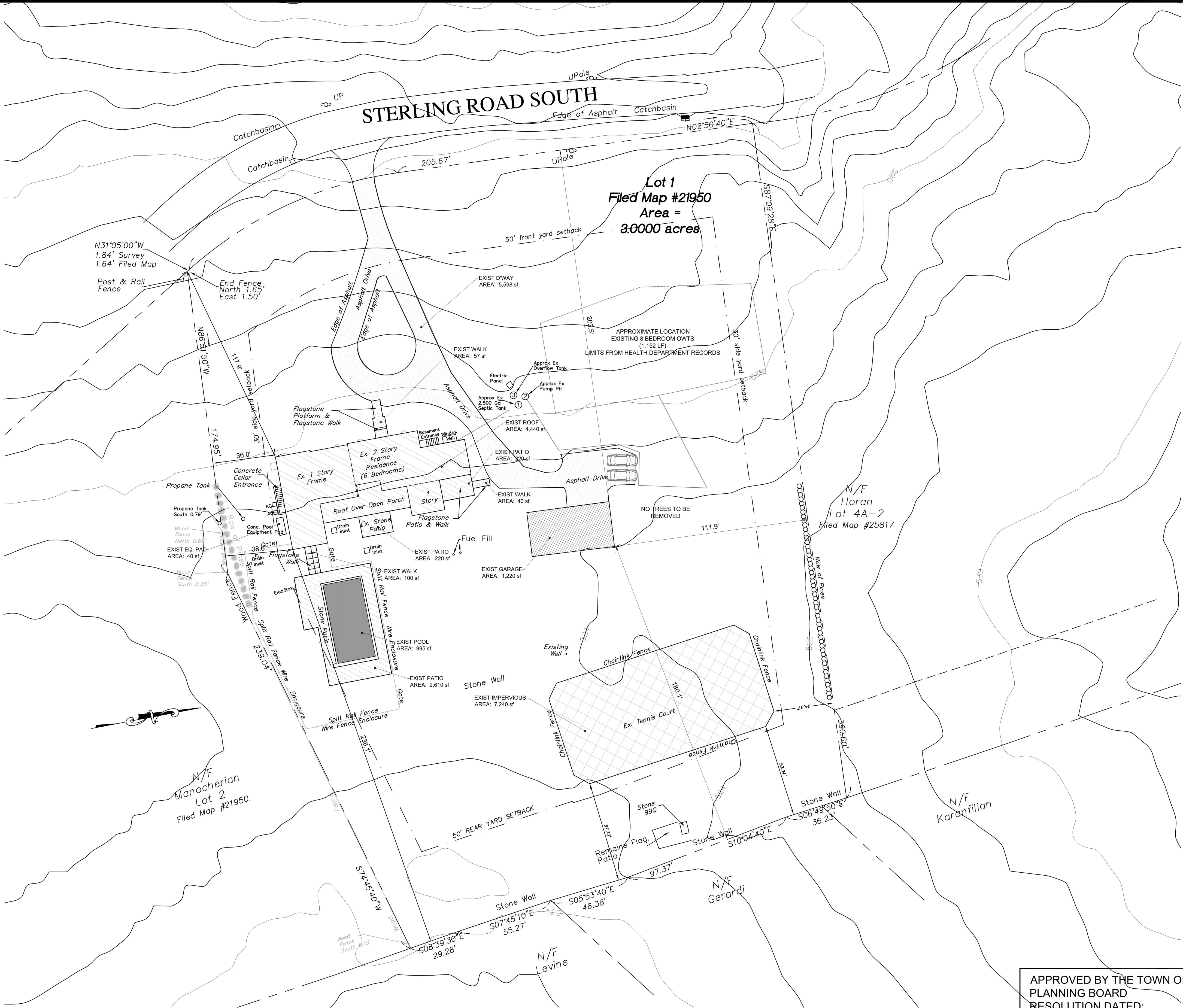
ZONING CONFORMANCE TABLE - R 2A ZONE

MIN. LOT SIZE	REQUIRED/PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	2 ACRES	3 ACRES	3 ACRES
MIN. FRONTAGE	150 ft	340.97 ft	340.97 ft
MIN. WIDTH	150 ft	330.4 ft	330.4 ft
MIN. DEPTH	150 ft	418.4 ft	418.4 ft
MIN. PRINCIPAL BUILDING SETBACKS			
FRONT YARD	50 ft	117.9 ft	117.9 ft
SIDE YARD	30 ft	36 ft (min)	36 ft (min)
REAR YARD	50 ft	±238.1 ft	±238.1 ft
MAX. HEIGHT (PRINCIPAL) (FEET)	30 ft	<30 ft	<30 ft
MAX. BUILDING COVERAGE (%)	8%	3.4%	3.4%
MIN. DWELLING UNIT SIZE	1,400 SF	±4,440 SF	4,440 SF
MAX. ACCESSORY BUILDING COVERAGE (25% OF PRINCIPAL)	1,110 SF	1,220 SF (27.4%)	1,340 SF (30%)
MIN. REQUIRED OFF- STREET PARKING	2 SPACES PER DWELLING UNIT	2 (GARAGE)	2 (GARAGE)
GUEST COTTAGE SETBACKS			
FRONT YARD	50 ft	203.5	198.8 ft (min)
SIDE YARD	30 ft	111.9	111.9 ft (min)
REAR YARD	40 ft	180.0	180 ft (min)

LEGEND

- 490 x EXISTING SPOT GRADE
- PROPERTY LINE
- TP 1 DEEP TEST PIT
- * TREE TO BE REMOVED
- 490 EXIST CONTOUR
- PROP CONTOUR

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DUPLICATION IS A VIOLATION OF
APPLICABLE LAWS



APPROVED BY THE TOWN OF NORTH CASTLE
PLANNING BOARD
RESOLUTION DATED: _____

CHRISTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

DATE: _____

ENGINEERING PLANS REVIEWED FOR
CONFORMANCE TO THE RESOLUTION:

DATE: _____

JOSEPH M. CERMELE, PE
KELLARD SESSIONS, CONSULTING
CONSULTING TOWN ENGINEERS

SHEET: 1 of 3

5

4

3

2

1

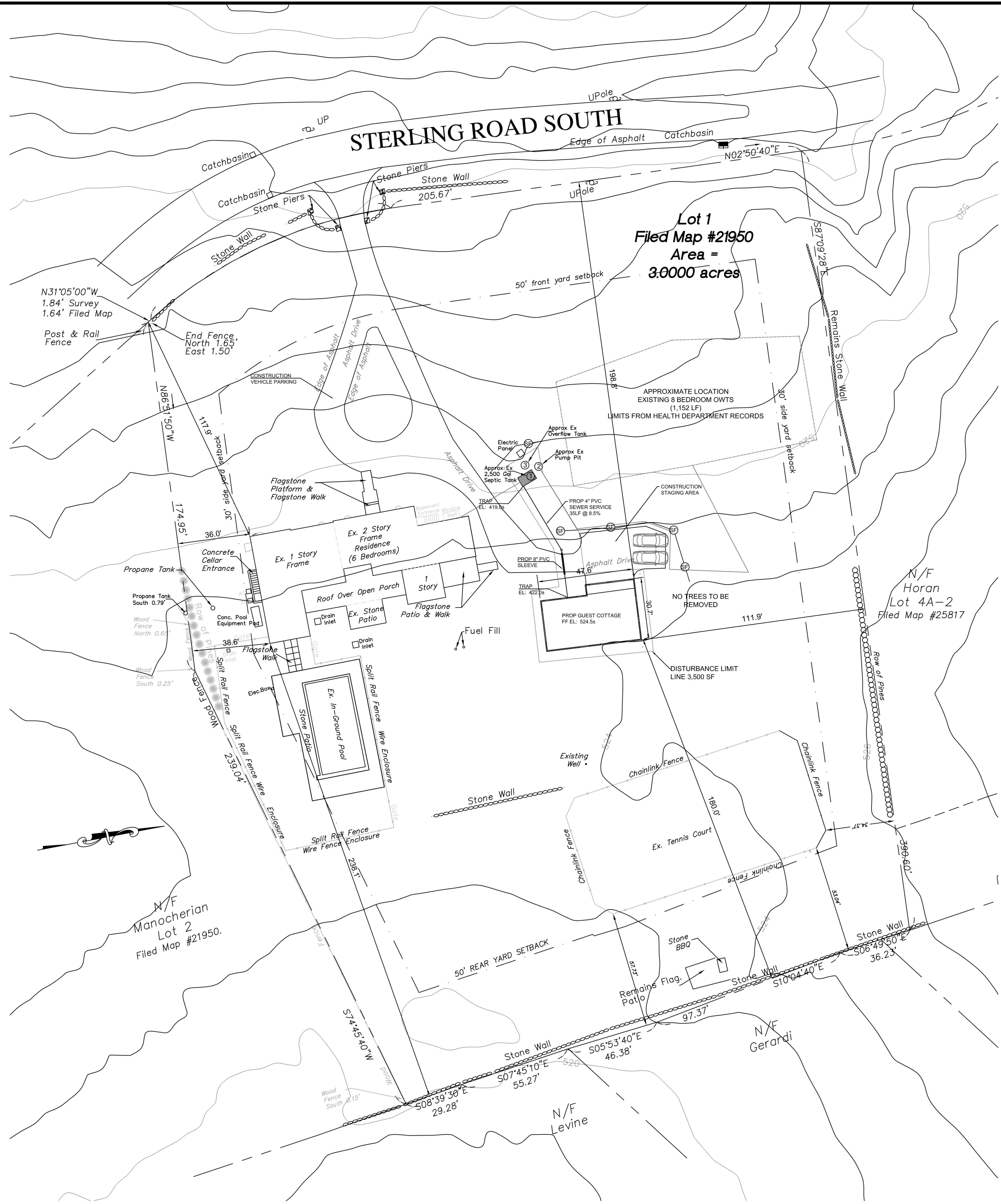
August 3, 2020
Eliminate Basketball Court
1 Staff Comments
Original Date: MAY 28, 2020
Project Number: BARS-SWP

Nathaniel J. Holt, P.E.
Professional Engineer
State of New York
License No. 024388
Date: _____

NATHANIEL J. HOLT, P.E.
592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

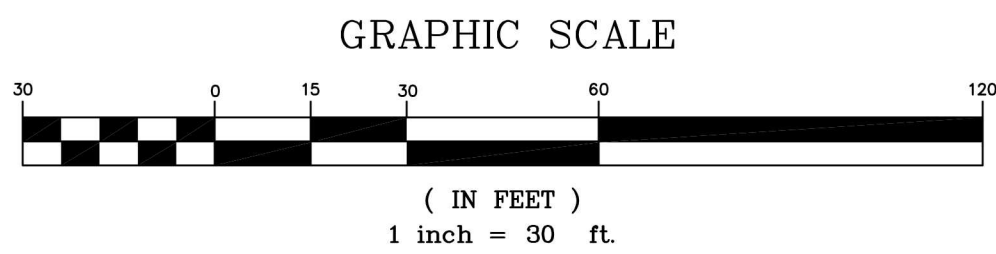
SITE DEVELOPMENT PLANS
for
RICHARD and RENEE BARASCH
6 STERLING ROAD SOUTH, ARMONK, NY

EXISTING CONDITIONS
PLAN



LEGEND

- 490 x EXISTING SPOT GRADE
- PROPERTY LINE
- TP 1 DEEP TEST PIT
- * TREE TO BE REMOVED
- 490 EXIST CONTOUR
- PROP CONTOUR



NATHANIEL J. HOLT, P.E.

592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

SITE PLAN

SITE DEVELOPMENT PLANS
for
RICHARD and RENEE BARASCH
6 STERLING ROAD SOUTH, ARMONK, NY

APPROVED BY THE TOWN OF NORTH CASTLE
PLANNING BOARD
RESOLUTION DATED: _____
CHRISTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

DATE: _____

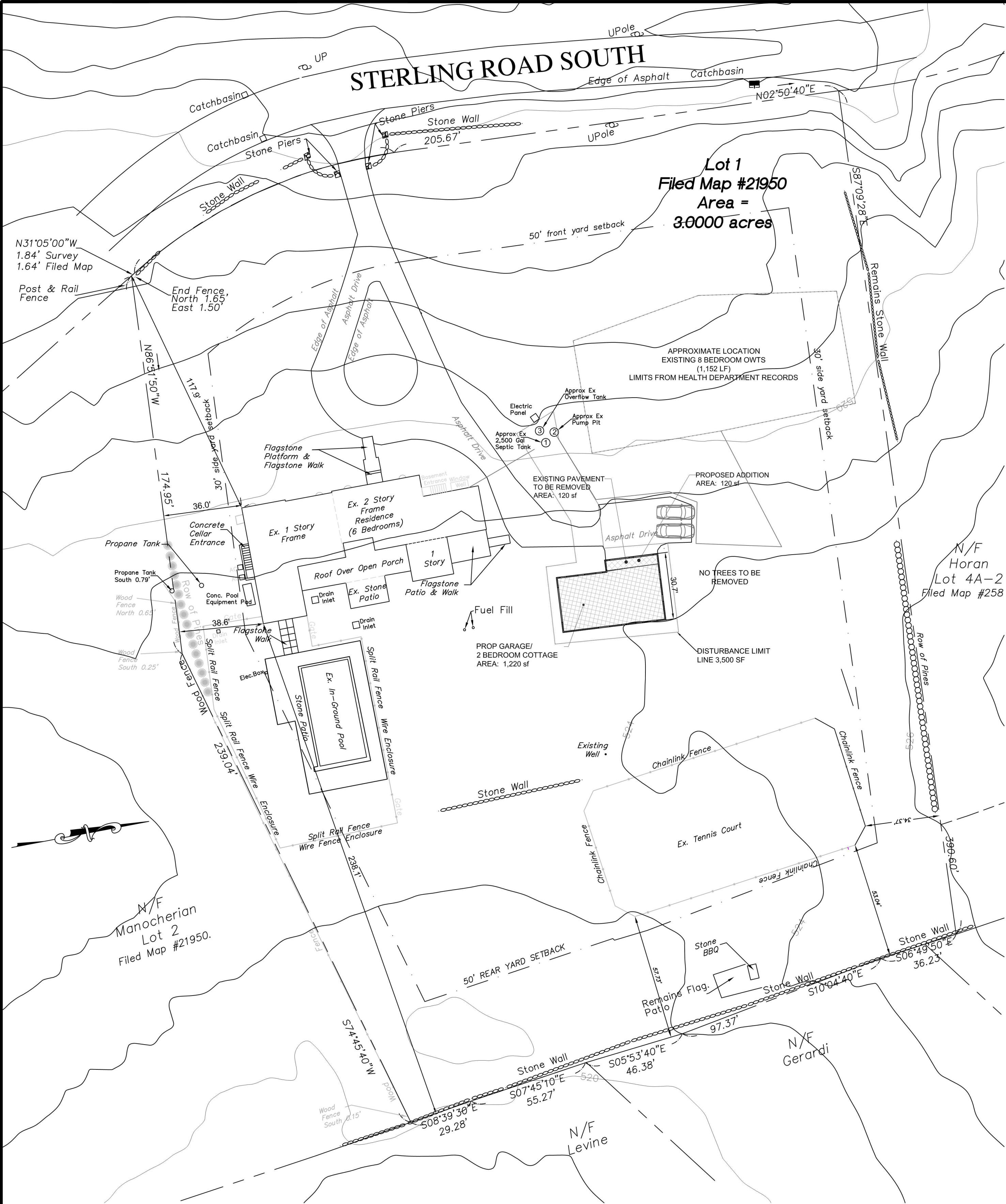
ENGINEERING PLANS REVIEWED FOR
CONFORMANCE TO THE RESOLUTION:

DATE: _____
JOSEPH M. CERMELE, PE
KELLARD SESSIONS, CONSULTING
CONSULTING TOWN ENGINEERS

SHEET: 2 of 3

Professional Engineer
Nathan J. Holt, P.E.
No. 02438
Exp. 12/31/2024
Original Date: MAY 28, 2020
Project Number: BARS-SWP

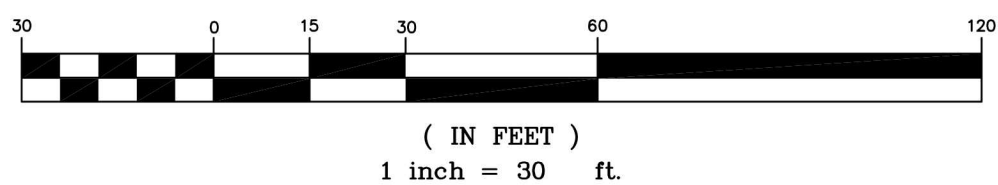
Seal of the State of New York
Professional Engineer
Nathan J. Holt, P.E.
No. 02438
Exp. 12/31/2024



LEGEND

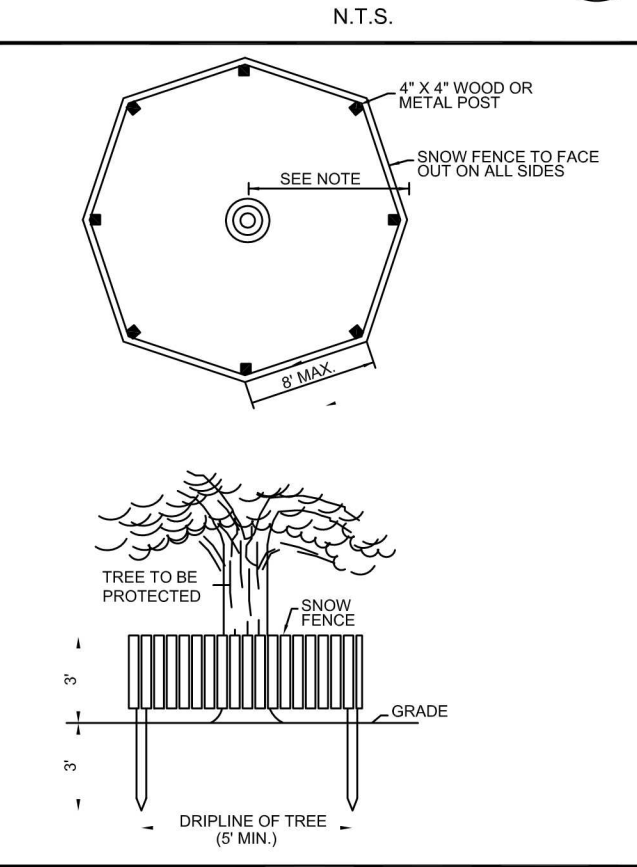
- 490 x EXISTING SPOT GRADE
- PROPERTY LINE
- TP 1 DEEP TEST PIT
- * TREE TO BE REMOVED
- 490 EXIST CONTOUR
- PROP CONTOUR

GRAPHIC SCALE

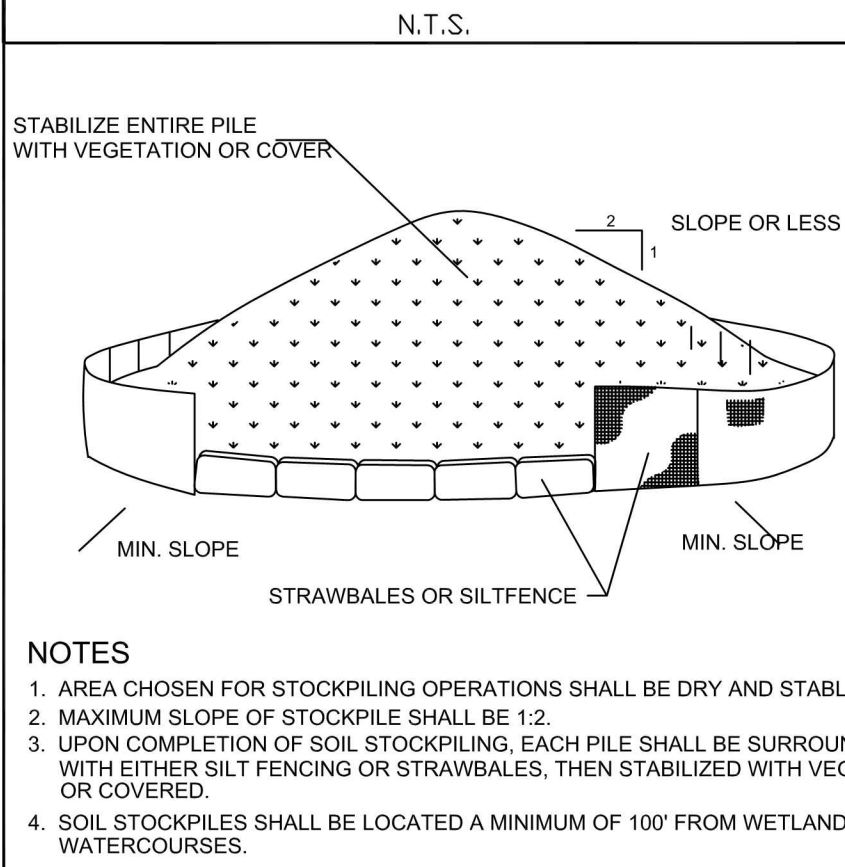


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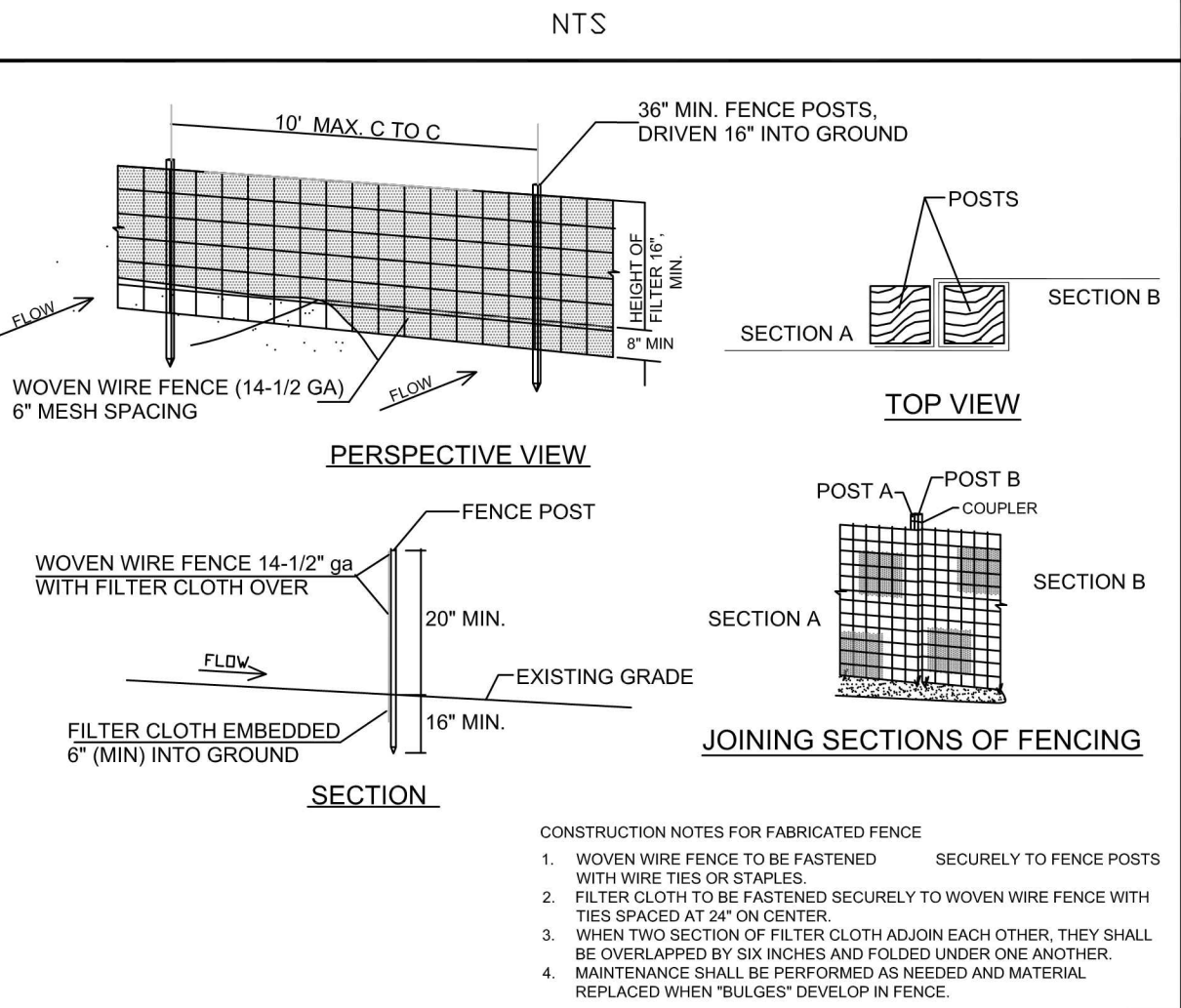
TREE PROTECTION TP



SOIL STOCKPILING DETAIL



SILT FENCE



GROSS LAND COVERAGE CALCULATIONS WORKSHEET*

APPLICATION NAME: BARASCH RESIDENCE		
TAX MAP DESIGNATION: 108.02-1-30		
GROSS LOT COVERAGE	EXISTING	PROPOSED
1. TOTAL LOT AREA	130,680 sf	130,680 sf
2. MAXIMUM PERMITTED GROSS LAND COVERAGE	16,537 sf	16,537 sf
3. BONUS MAXIMUM GROSS LAND COVER Distance principal home is beyond minimum front yard setback 72.5 ft x 10 = 725 sf	725 sf	725 sf
4. TOTAL MAXIMUM PERMITTED GROSS LAND COVERAGE	17,262 sf	17,262 sf
5. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING 4,440 sf (EXISTING) + 0 sf (PROPOSED)	4,440 sf	4,440 sf
6. AMOUNT OF LOT AREA COVERED BY ACCESSORY BLDGS 1,2 1,222 sf (EXISTING) + 118 sf	1,222 sf	1,340 sf
7. AMOUNT OF LOT AREA COVERED BY DECKS 0 sf (EXISTING) + 0 sf (PROPOSED)	0 sf	0 sf
8. AMOUNT OF LOT AREA COVERED BY PORCHES 0 sf (EXISTING) + 0 sf (PROPOSED)	0 sf	0 sf
9. AMOUNT OF LOT AREA COVERED BY DRIVEWAY, PARKING AREAS AND WALKWAYS 5,795 sf (EXISTING) + 118 sf (PROPOSED)	5,795 sf	5,677 sf
10. AMOUNT OF LOT AREA COVERED BY TERRACES/PATIOS 3,050 sf (EXISTING) + 0 sf (PROPOSED)	3,050 sf	3,050 sf
11. AMOUNT OF LOT AREA COVERED BY TENNIS COURT, POOL & MECHANICAL EQUIP 8,275 sf + 0 sf	8,275 sf	8,275 sf
12. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUC. 0 sf (EXISTING) + 0 (PROPOSED)	0 sf	0 sf
13. PROPOSED GROSS LAND COVERAGE: Total of Lines 5-12:	22,782 sf ³	22,782 sf

- ¹ EXISTING GARAGE
² EXISTING GARAGE TO BE RENOVATED TO INCLUDE
A TWO BEDROOM COTTAGE
³ LOT EXISTED PRIOR TO 12 / 13 / 06

SHEET: 3 of 3

NATHANIEL J. HOLT, P.E.

592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

SITE DEVELOPMENT PLANS
for
RICHARD and RENEE BARASCH
6 STERLING ROAD SOUTH, ARMONK, NY

STORMWATER MITIGATION
WITH
EROSION CONTROLS PLAN

APPROVED BY THE TOWN OF NORTH CASTLE
PLANNING BOARD
RESOLUTION DATED: _____

CHRISTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

DATE: _____

ENGINEERING PLANS REVIEWED FOR
CONFORMANCE TO THE RESOLUTION:

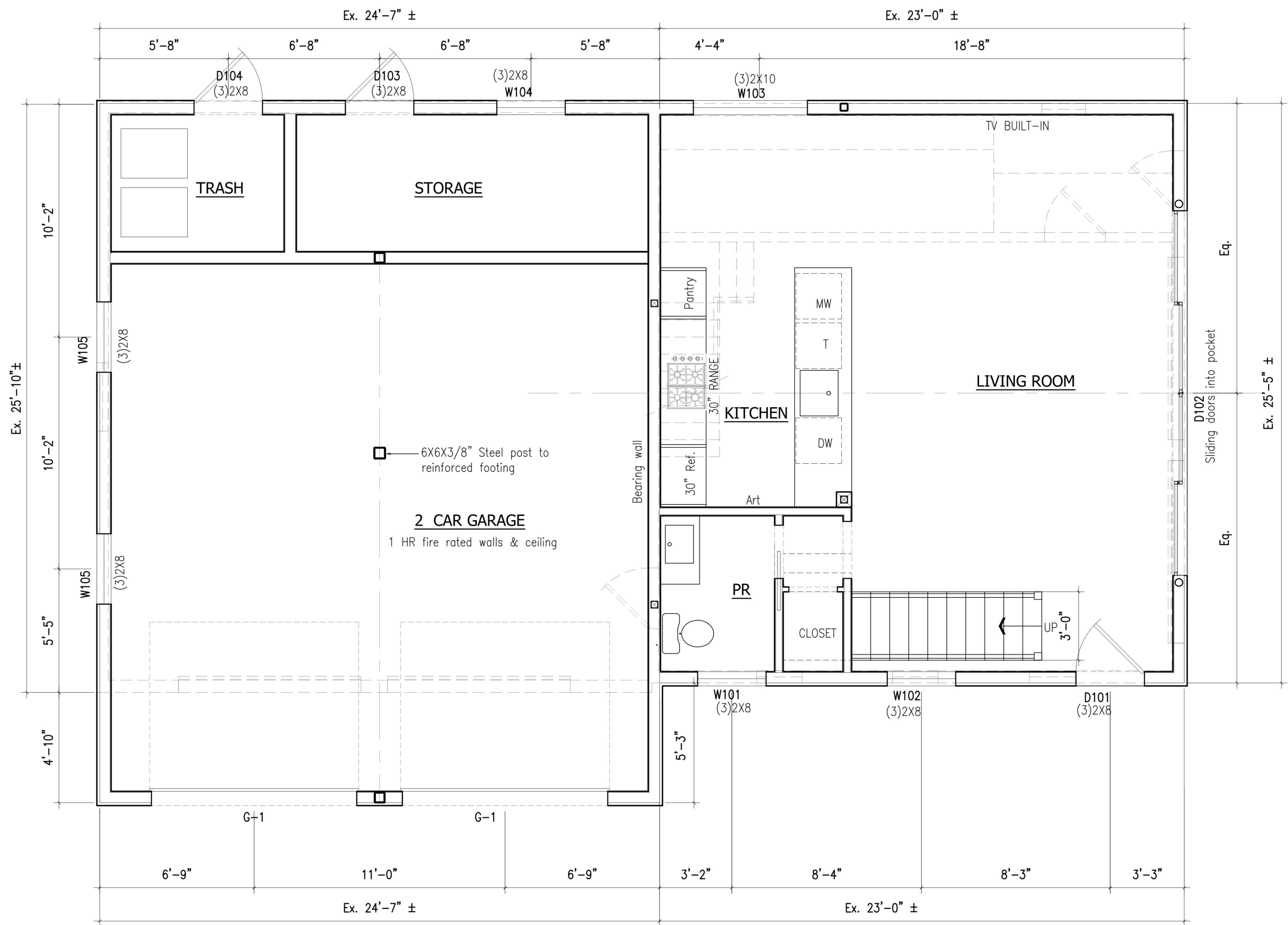
DATE: _____

JOSEPH M. CERMELE, PE
KELLARD SESSIONS, CONSULTING
CONSULTING TOWN ENGINEERS

NATHANIEL J. HOLT, P.E.
Professional Engineer
No. 024248
State of New York
Original Date: MAY 28, 2020
Project Number: BARASCH-SWP

6 STERLING ROAD SOUTH, ARMONK, NY

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

DATE:	REVISION

PROJECT
BARASCH RESIDENCE
PROP. ACCESSORY APT. & GARAGE

6 STERLING RD. SOUTH
ARMONK, NY

DRAWING TITLE
PROPOSED FIRST FLOOR &
2F FLOOR FRAMING PLAN (1F CEILING)

SEAL

DATE
5-20-20

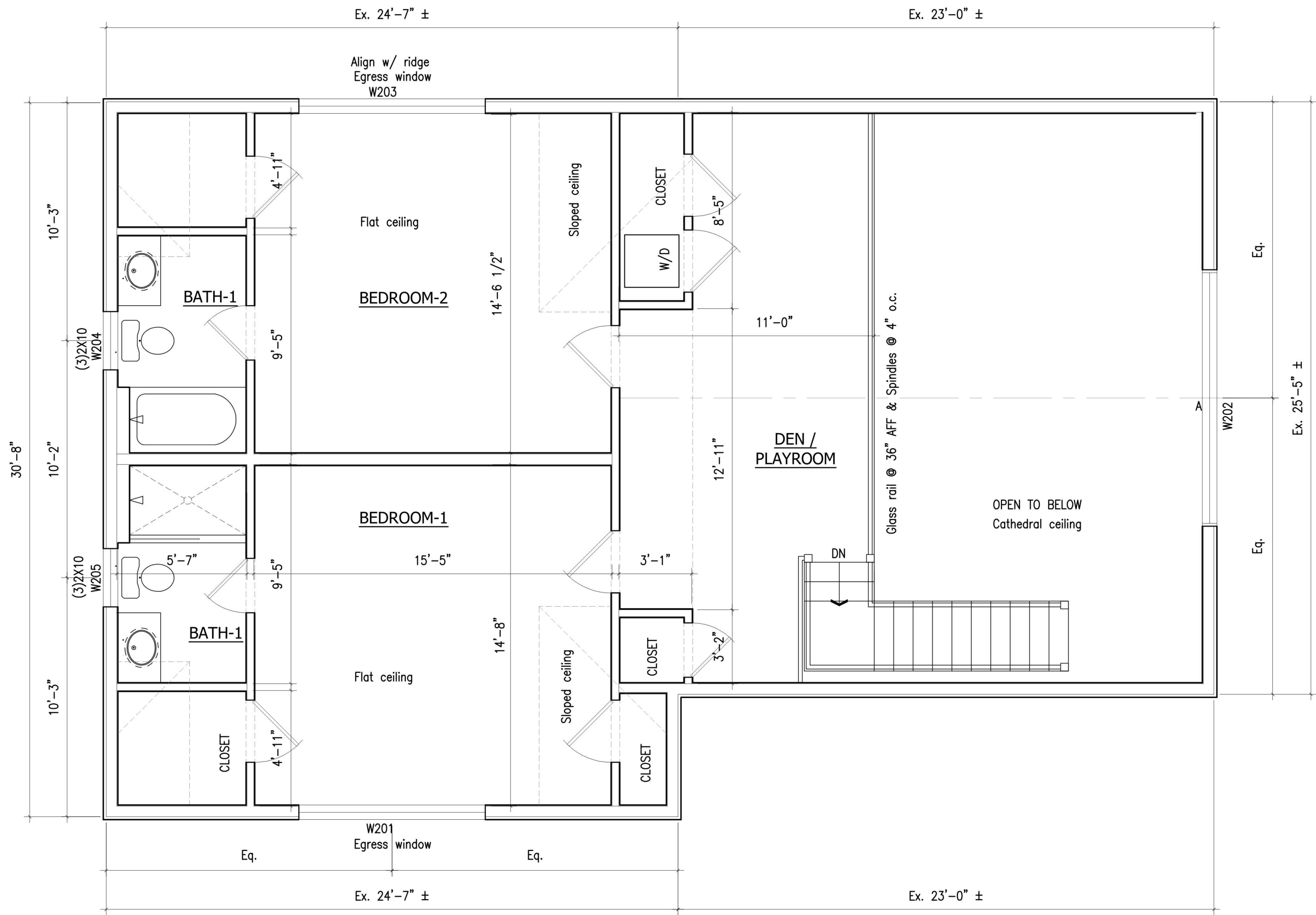
SCALE
1/4" = 1'-0"

DRAWING NO.

A101.00

PAGE NO.

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

DATE:	REVISION

PROJECT
BARASCH RESIDENCE
PROP. ACCESSORY APT. & GARAGE
6 STERLING RD. SOUTH
ARMONK, NY

DRAWING TITLE
PROPOSED SECOND FLOOR &
2F REFLECTED CEILING FRAMING PLAN

SEAL

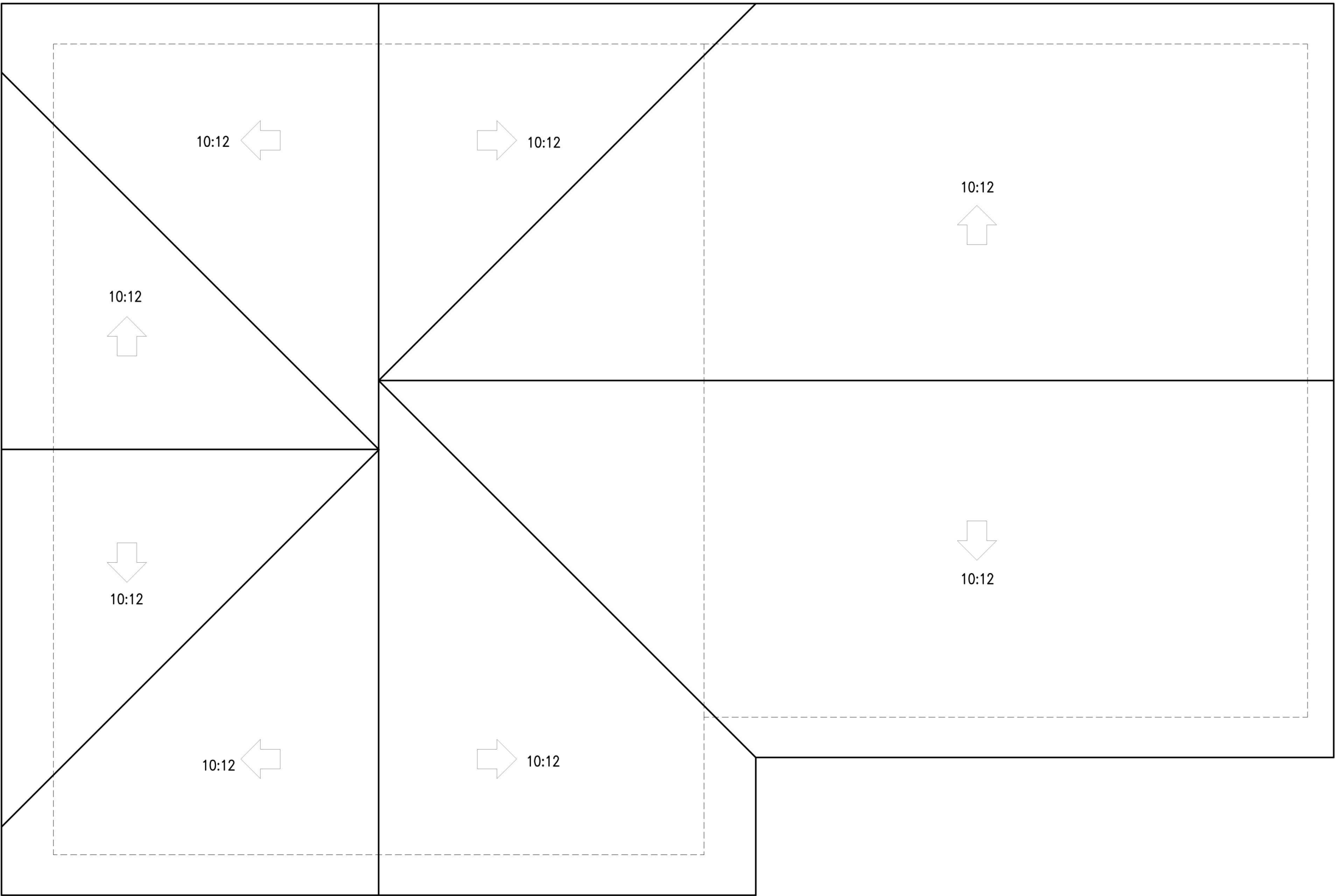
DATE
5-20-20

SCALE
1/4" = 1'-0"

DRAWING NO.
A102.00

PAGE NO.

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



1 PROPOSED ROOF & FRAMING PLAN
Scale: 1/4" = 1'-0"

	DATE:	REVISION

PROJECT
BARASCH RESIDENCE
PROP. ACCESSORY APT. & GARAGE

7 HADLEY ROAD
ARMONK, NY

DRAWING TITLE

PROPOSED ROOF AND
ROOF FRAMING PLAN

SEAL

DATE
5-20-20

SCALE
1/4" = 1'-0"

DRAWING NO.

A103.00

PAGE NO.



1 PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

TEO SIGÜENZA
ARCHITECT
460 OLD POST ROAD 2A BEDFORD, N. Y. 10506
TEL: 914.234.6289 FAX: 914.234.0619
www.teosiguenza.com

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT

CONCEPTUAL DESIGN
NOT FOR CONSTRUCTION

	DATE:	REVISION

PROJECT
BARASCH RESIDENCE
PROP. ACCESSORY APT. & GARAGE

6 STERLING RD. SOUTH
ARMONK, NY

DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS

SEAL

DATE
5-20-20

SCALE
1/4" = 1'-0"

DRAWING NO.
A200.00

PAGE NO.

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT

CONCEPTUAL DESIGN
NOT FOR CONSTRUCTION

	DATE:	REVISION

PROJECT
BARASCH RESIDENCE
PROP. ACCESSORY APT. & GARAGE

6 STERLING RD. SOUTH
ARMONK, NY

DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS

SEAL

DATE
5-20-20

SCALE
1/4" = 1'-0"

DRAWING NO.
A201.00

PAGE NO.



1 PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT

EXISTING		EXISTING PORCH		EXISTING		EXISTING PORCH	
SIDES	DIMENSIONS (ft)	SIDES	DIMENSIONS (ft)	ROOMS	S.F.	ROOMS	S.F.
A	19.0	A1	18.42	AB	391.4	A1B1	231.0
B	20.6	B1	12.55	CD	117.0	C1D1	591.0
C	11.8	C1	51.0	EF	450.0	E1F1	85.0
D	10.0	D1	11.58	GH	325.0	TOTAL	907 SF
E	14.75	E1	13.54	IJ	690.0		
F	30.5	F1	6.25	KL	1075.0		
G	13.54			MN	711.0		
H	24.0			TOTAL	3760 SF		
I	23.0						
J	30.0						
K	20.0						
L	53.75						
M	18.83						
N	37.75						

1 EXISTING FIRST FLOOR PLAN

EXISTING		EXISTING	
SIDES	DIMENSIONS (ft)	ROOMS	S.F.
A	24.9	AB	523.0
B	21.0	CD	852.0
C	27.58	EF	355.0
D	30.9	TOTAL	1730 SF
E	14.3		
F	24.83		

2 EXISTING SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

PROJECT
BARASCH RESIDENCE
EX. CONDITION MAIN HOUSE

6 STERLING ROAD SOUTH
ARMONK, NY

DRAWING TITLE

MAIN HOUSE FLOOR PLANS
FLOOR AREA CALCULATION

SEAL

DATE
7-31-20

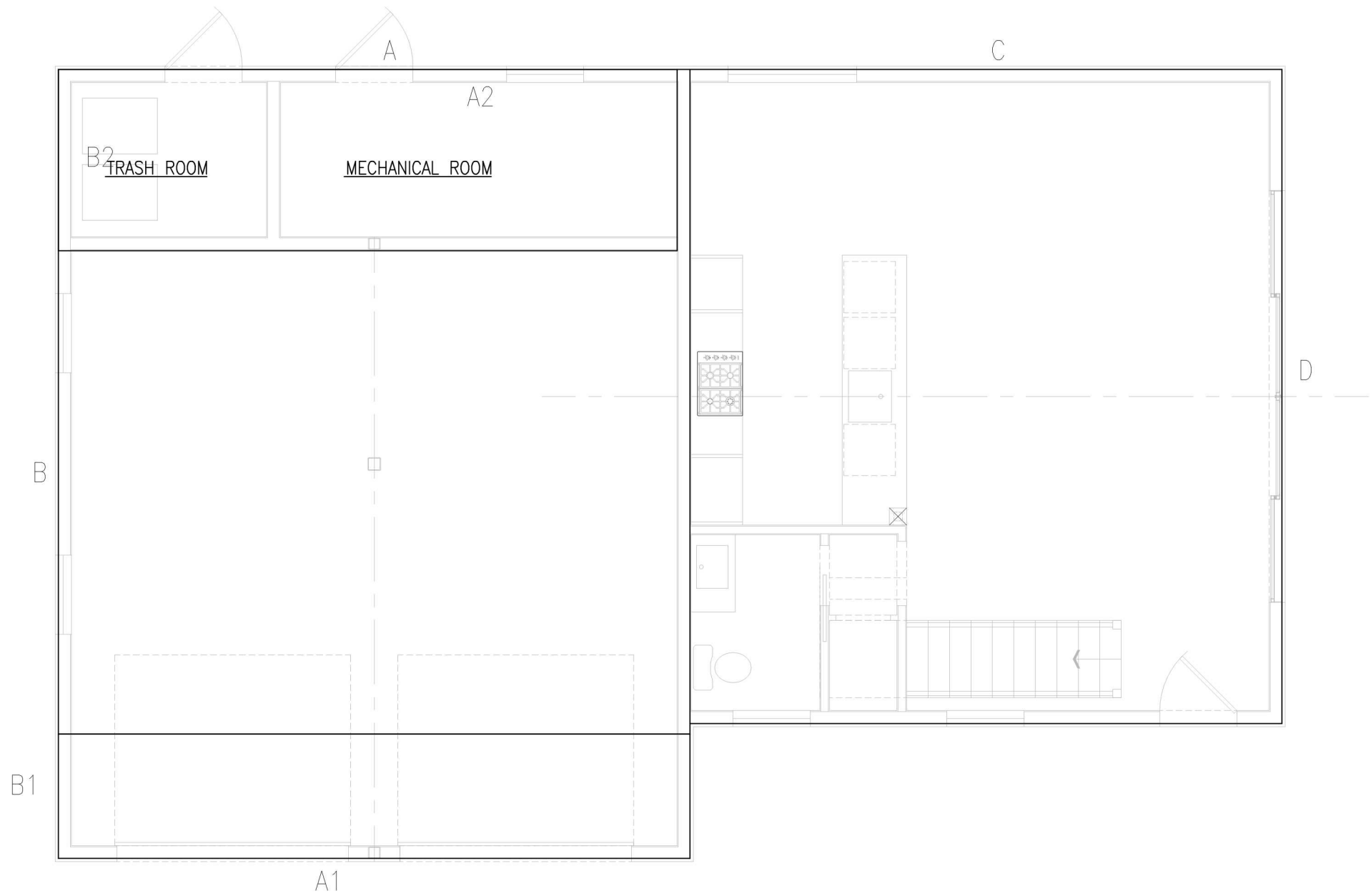
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1/4" = 1'-0"

DRAWING NO.

F101.00

PAGE NO.

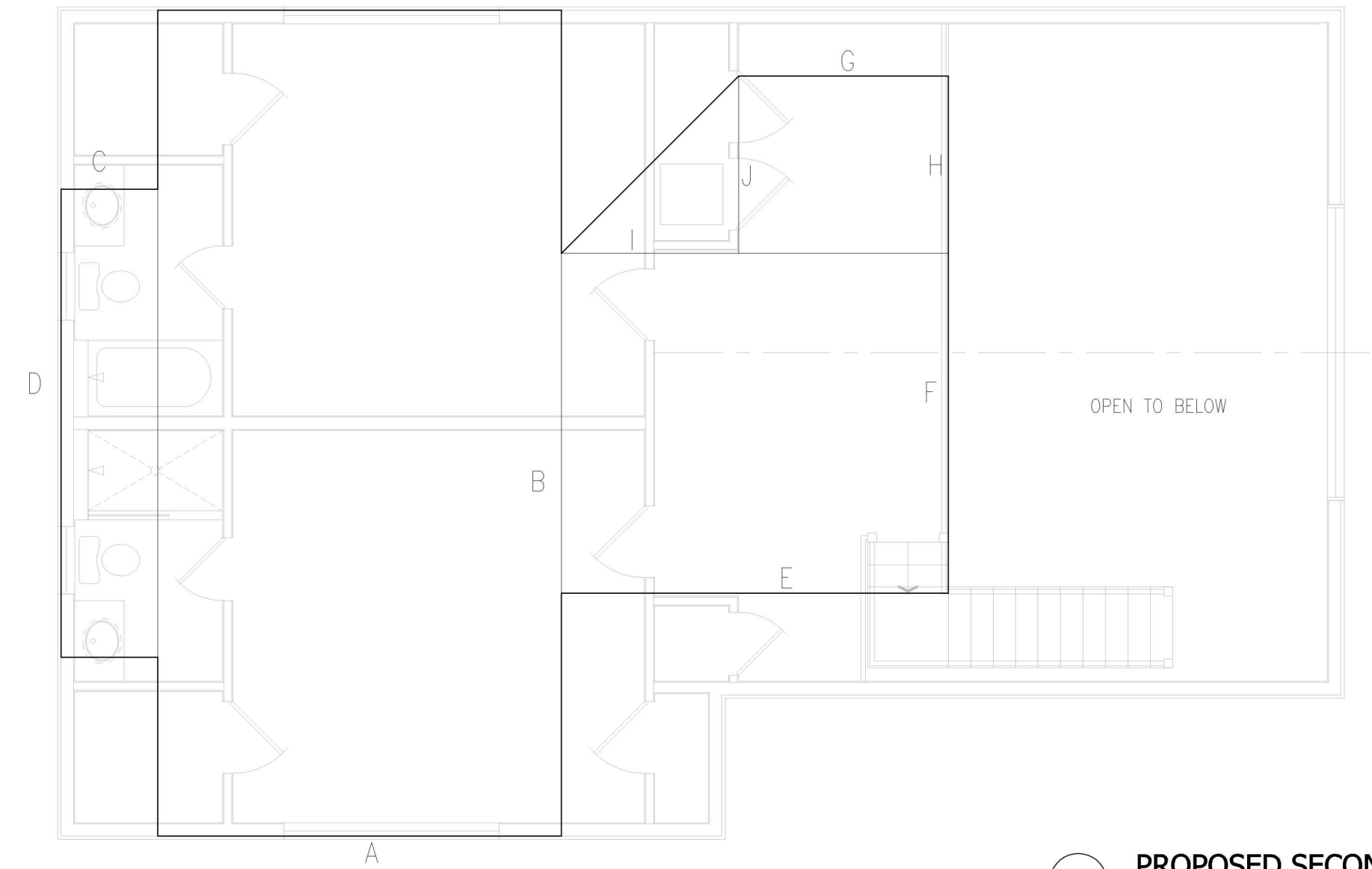
GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



EXISTING		EXISTING		PROPOSED	
SIDES	DIMENSIONS (ft)	ROOMS	S.F	ROOMS	S.F
A	24.58	AB	634.0	A1B1	118
B	25.83	CD	586.0	A2 B2	(-118)
C	23.0				
D	25.5	TOTAL	1220 SF		0 SF

PROPOSED	
SIDES	DIMENSIONS (ft)
A1	24.58
B1	4.8

1 PROPOSED FIRST FLOOR PLAN



PROPOSED		PROPOSED	
SIDES	DIMENSIONS (ft)	ROOMS	S.F
A	15.0	AB	460.0
B	30.67	CD	62.18
C	3.58	EF	181.5
D	17.37	GH	51.26
E	14.37	1/2 IJ	21.65
F	12.63	TOTAL	777 SF
G	7.79		
H	6.58		
I	6.58		
J	6.58		

2 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

DATE:	REVISION

PROJECT
BARASCH RESIDENCE
PROP. ACCESSORY COTTAGE &
GARAGE (FORMER 4 CAR GARAGE)
6 STERLING RD. SOUTH
ARMONK, NY

DRAWING TITLE
ACCESSORY STRUCTURE FLOOR PLANS
FLOOR AREA CALCULATION

SEAL

DATE
7-30-20

SCALE
1/4" = 1'-0"

DRAWING NO.
F101.00

PAGE NO.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: RICHARD & RENEE BARASCH Date: 7/31/20

Tax Map Designation or Proposed Lot No.: 108.04 - 2-28

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 130,680⁴
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 14,537⁴
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
72.5 x 10 = 725 725⁴
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 17,262⁴
5. Amount of lot area covered by **principal building**:
4440 existing + 0 proposed = 4440⁴
6. Amount of lot area covered by **accessory buildings**:
1220 existing + 120 proposed = 1,340⁴
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
5795 existing + -120 proposed = 5,677⁴
10. Amount of lot area covered by **terraces/ PATIOS**:
3050 existing + 0 proposed = 3,050⁴
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
8275 existing + 0 proposed = 8,275⁴
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 - 12 = 22,782⁴

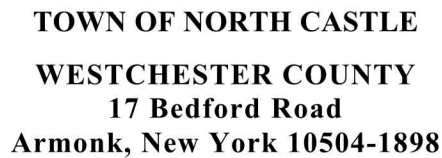
If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



7/31/20

Date



January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Date _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

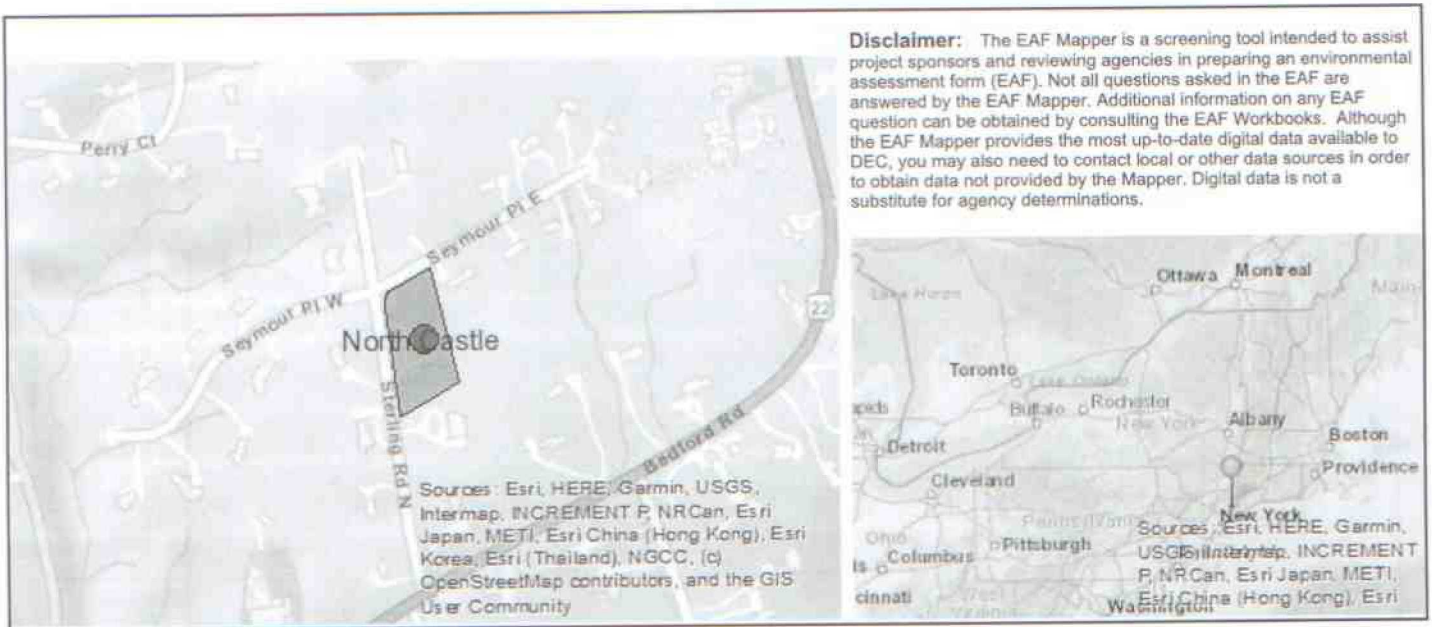
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information							
RICHARD AND RENEE BARASCH							
Name of Action or Project: PROPOSED GUEST COTTAGE							
Project Location (describe, and attach a location map): 6 STERLING ROAD SOUTH							
Brief Description of Proposed Action: CONVERSION OF AN EXISTING FOUR CAR GARAGE TO A GUEST COTTAGE WITH 2 GARAGE BAYS							
Name of Applicant or Sponsor: TEO SIGUENZA		Telephone: 914-234-6289 E-Mail: TS@TEOSIGUENZA.COM					
Address: 460 OLD POST ROAD, SUITE 2A							
City/PO: BEDFORD		State: NY	Zip Code: 10506				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: TOWN OF NORTH CASTLE PLANNING BOARD, TOWN OF NORTH CASTLE ZONING BOARD OF APPEALS			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3. a. Total acreage of the site of the proposed action?		3.0 acres					
b. Total acreage to be physically disturbed?		0.03 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.0 acres					
4. Check all land uses that occur on, are adjoining or near the proposed action:							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):							
<input type="checkbox"/> Parkland							

		NO	YES	N/A
5.	Is the proposed action,			
a.	A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b.	Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c.	Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9.	Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10.	Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11.	Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12.	a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>TEO SIGUEN</u> Date: <u>JULY 31, 2020</u> Signature: _____ Title: _____		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



410520280DEDB

Control Number
410520280

WIID Number
2001052-000117

Instrument Type
DED



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
*** DO NOT REMOVE ***

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 5

TOTAL PAGES 5

RECORDING FEES

STATUTORY CHARGE	\$5.25
RECORDING CHARGE	\$15.00
RECORD MGT. FUND	\$4.75
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$55.00

TRANSFER TAXES

CONSIDERATION	\$1,425,000.00
TAX PAID	\$19,950.00
TRANSFER TAX #	22122

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
 YONKERS	 \$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

SERIAL NUMBER
DWELLING

RECORDING DATE 02/28/2001
TIME 14:31:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
TOWN OF NORTH CASTLE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to:
KURZMAN EISENBERG AND CORBIN LLP
1 NORTH BROADWAY
WHITE PLAINS, NY 10601

Consult your Lawyer before signing this deed-it has important legal consequences

This Deed was prepared by

MICHAEL I. BERLINER, ESQ.

Deed

Date This Deed is made on January 19, 2001 between:

Parties

Grantor ANN HALPER, unmarried, whose address is 6 Sterling Road, Armonk, New York 10504, herein designated as the Grantors; and

Grantee RICHARD BARASCH and RENEE BARASCH, husband & wife, whose address is 160 W. 86th Street, New York, NY 10024, herein designated as the Grantee,

[The words "Grantor" and "Grantee" include all Grantors and all Grantees under this Deed]

Consideration In return for the payment to the Grantor by the Grantee of One Million Four Hundred Twenty-Five Thousand and 00/100 Dollars (\$1,425,000.00)

Conveyance The Grantor grants and conveys to the Grantee all of the land located in the Town of North Castle, in the County of Westchester and State of New York specifically described as follows:

Description of Land See Attached Schedule A.

Being the same premises conveyed to the Grantor herein, by Deed from Irwin Halper and Ann Halper, his wife, dated October 24, 1977 and recorded in liber 7428 page 459 of the Westchester County Clerk's office on October 24, 1977.

Being more commonly known as 6 Sterling Road, Armonk, Westchester County, New York

Municipal Lot and Block or The land is now designated as Section 2, Block 17, Lot 4B on the municipal tax map of the Town of Armonk. (or as Account No.).

Stewart Title Insurance Company

Title No: 20WS00987

Schedule A Description

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of North Castle, County of Westchester, State of New York known and designated as Lot No. 1 as shown on a certain map entitled "Subdivision of Property belonging to Ann Halper situated in the Town of North Castle, Westchester County, New York" made by Ralph L. MacDonald, dated April 30, 1985 and filed in the Westchester County Clerk's Office, Division of Land Records, on June 4, 1985 as Map No. 21950.

Account Number

___ No property tax identification number for the land is available at the time of this conveyance.

Covenant as to Grantor's Acts

The Grantor promises that the Grantor has done no act to encumber the land. This promise is called a "covenant as to grantor's acts". This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor) in compliance with Section 13 of the Lien Law.

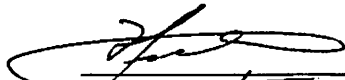
Receipt of Consideration

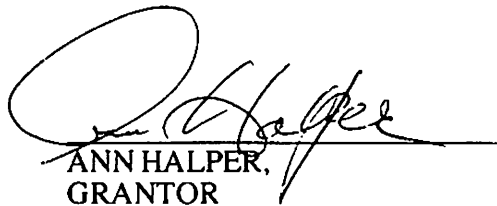
The Grantor has received the full payment from the Grantee.

Signature of Grantor

The Grantor signs this Deed on the first date above. If the Grantor is a Corporation this Deed is signed by its corporate officers and its corporate seal is affixed.

Signed, sealed and delivered in the presence of or attested by:


Witness Michael Berlinski


ANN HALPER, L.S. ✓
GRANTOR

✓ Section 2
Block 17
Lot 40
County of Westchester
Town of North Castle
Property also known as
6 Sterling Rd.
Amonk, New York 10504

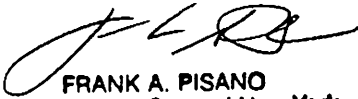
Record & Return to
Lowen Hankin, Esq.
/ KURZMAN, Eisenberg, Corbin, LLP
1 North Broadway
White Plains, NY 10601

UNIFORM FORM OF ACKNOWLEDGMENT

State of New York) ss:
County of Westchester)

On the 19 day of JANUARY in the year 2001 before me, the undersigned, a notary public in and for said state, personally appeared ANN HALPER, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies) and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

(Signature and office of individual taking acknowledgment)


FRANK A. PISANO
Notary Public, State of New York
No. 4688110
Qualified in Westchester County
Commission Expires March 30, 2001

UNIFORM FORM
OF
SUBSCRIBING WITNESS ACKNOWLEDGMENT

State of New York) ss:
County of _____)

On the _____ day of _____ in the year _____ before me, the undersigned, a notary public in and for said state, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in _____ (If the place of residence is in a city, include the street and street number, in any, thereof); that he/she/they know(s) _____ to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said _____ execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.

(Signature and office of individual taking proof)

FEE: \$.....2.00.....

Nº 3480

Certificate of Occupancy

DEPARTMENT OF ZONING AND BUILDING
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

Issued6/25.....19.26

TO:I. Halper.....

ADDRESS6 Sterling Road.....

.....Armonk, N.Y.

Premises located at:Above.....

In zone area:R2A..... Type or UseGarage.....

Tax map designation: Section2..... Block17..... Lot.....43.....

This certifies that the aforementioned structure and/or premise conforms with the application, use and plans on file in the building department office of the Town of North Castle;

that said structure or use is in conformity with the Zoning Ordinance, Building Code and other applicable requirements of the Town of North Castle;

that permission is hereby granted for the use and/or occupancy as set forth herein;

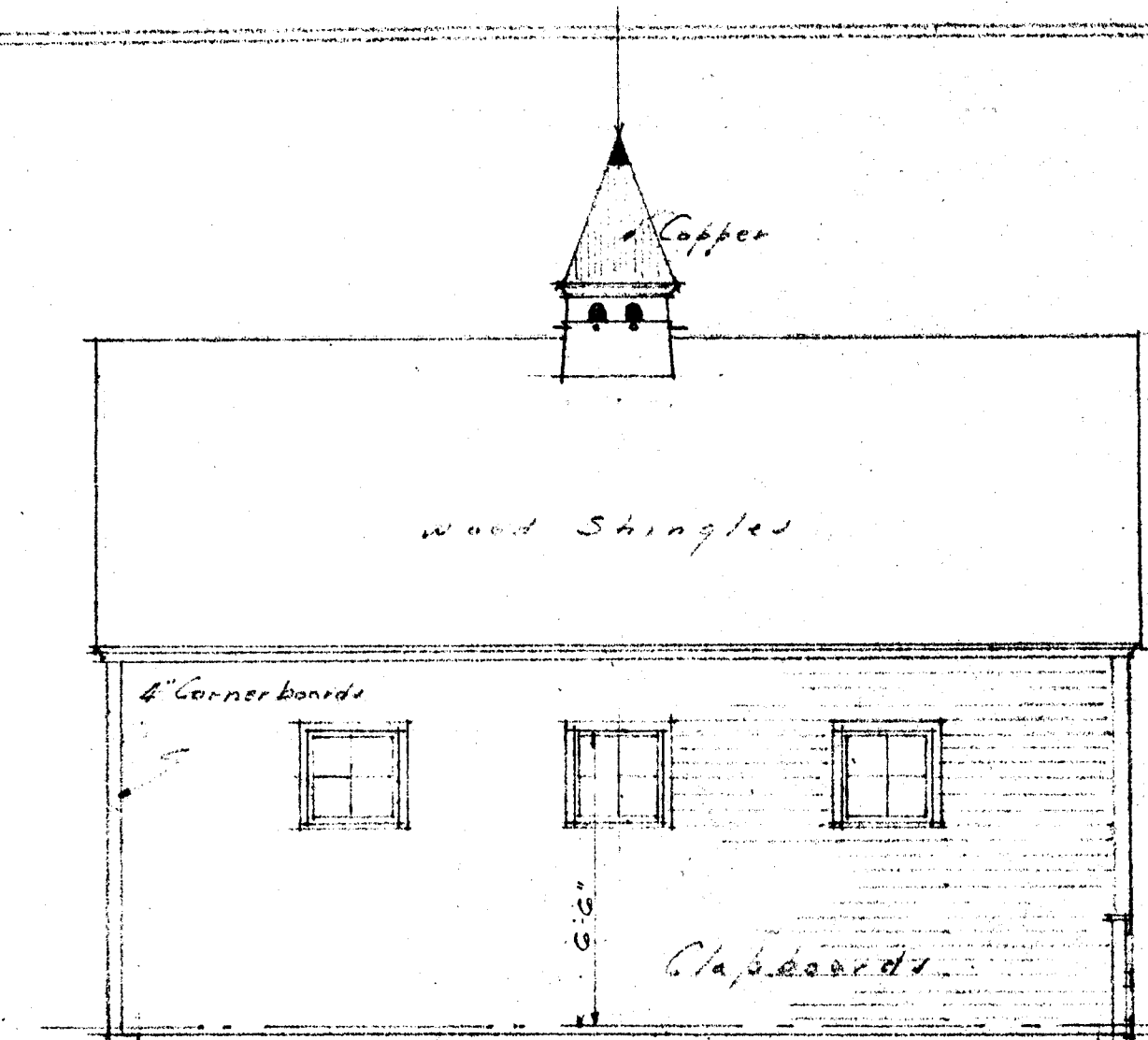
that this Certificate of Occupancy is subject to revocation for non-compliance of any of the laws or ordinances applicable thereto;

that this certificate is further subject to compliance to any other governmental agencies having jurisdiction thereof;

that this certificate is issued subject to the following conditions:

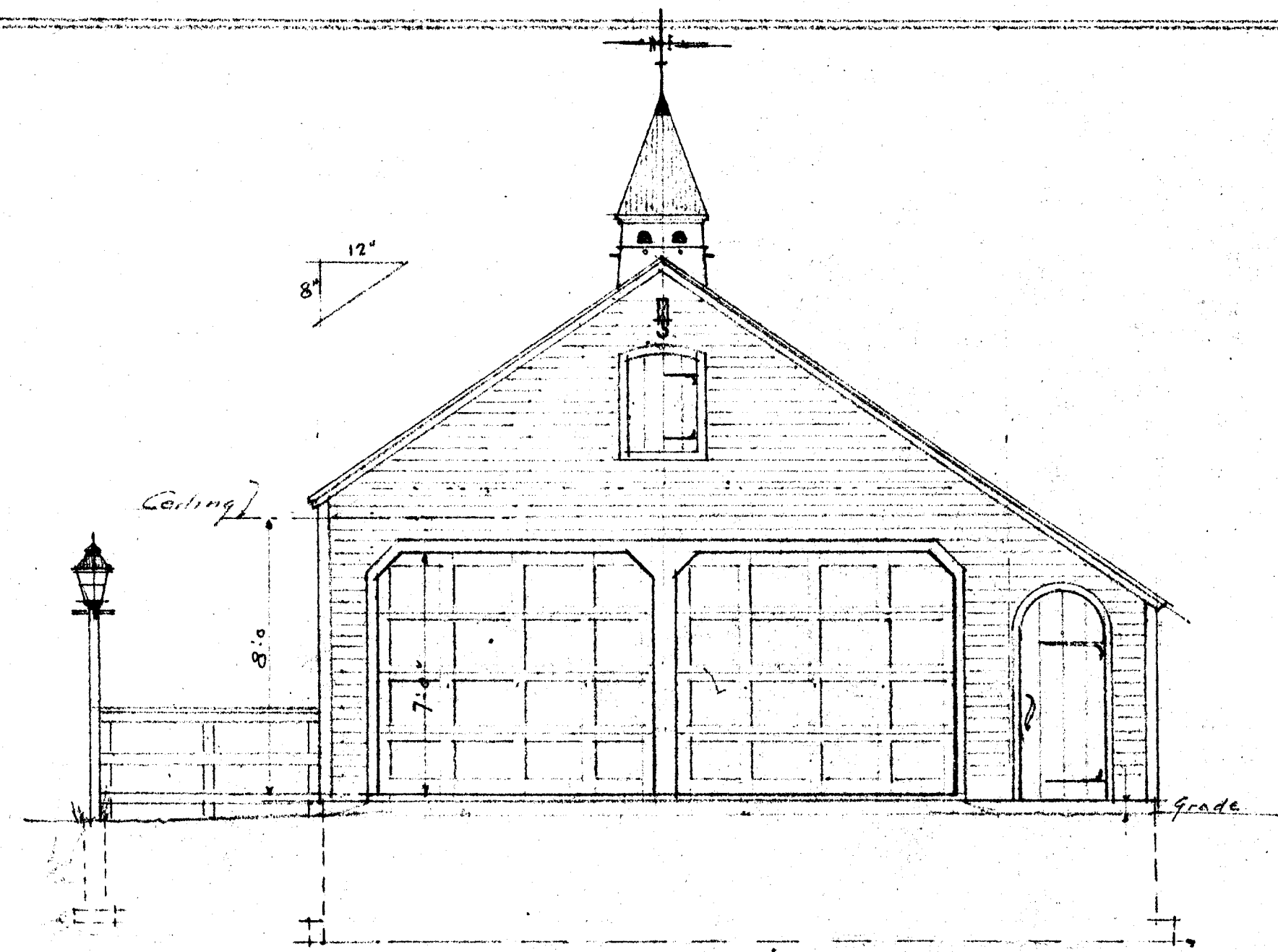
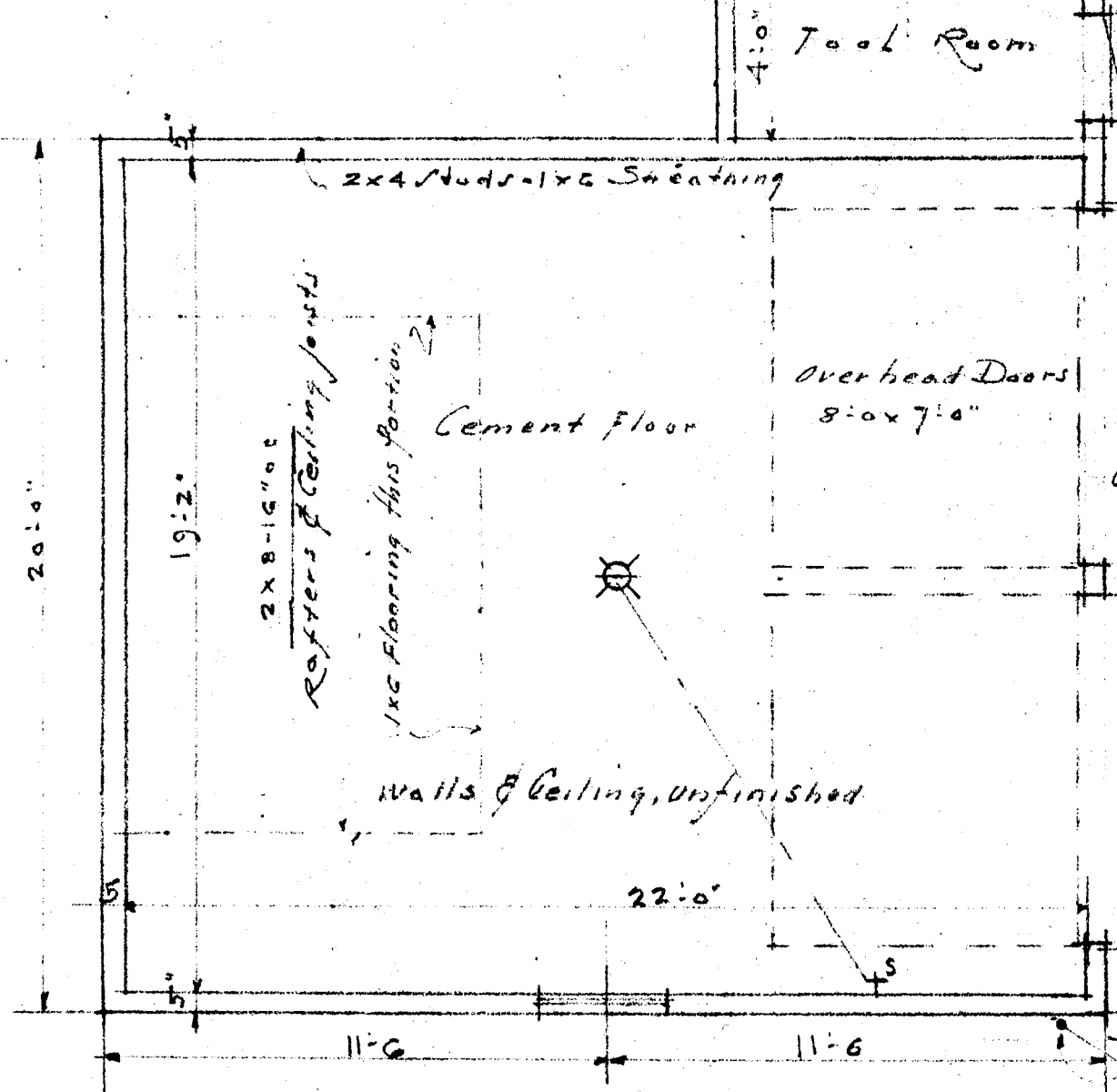
Building Permit Number4110..... and date issued11/7/74.....19.....

Approved by: *Ray Johnson*
Building Inspector



WEST ELEVATION

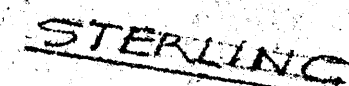
3'6" 8" Cement block foundation walls



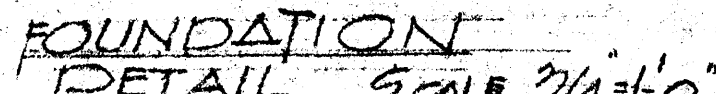
SOUTH ELEVATION

DETACHED GARAGE
Scale 1/4" = 1'-0"

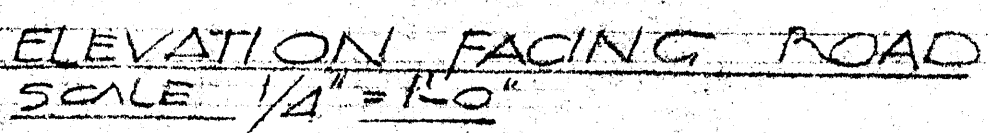
• FREDERICK L. PORTER • • ARCHITECT • • SCARSDALE, N. Y. •		
JOB	BY	SHEET
41-11	F. L. PORTER	8



ROAD

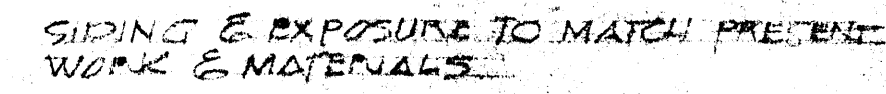


ROOF SHINGLES. COLOR
E STYLE TO MATCH EXIST
1/2 PLYWOOD ROOFERS
6 15# ROOF FELT
RAKE MOLDING & SUE

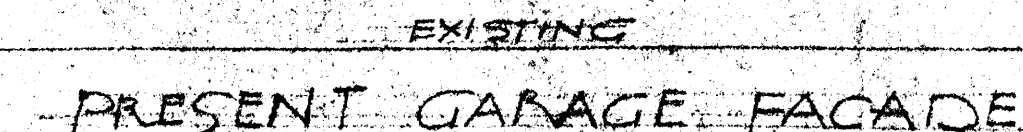


PROPOSED TWO CAR ADDITION TO EXISTING GARAGE
FOR MR. IRWIN HALPER - STERLING RD. ARMONK, N.Y.

HEIGHT OF WALL
PLATES TO MATCH
EXISTING AT
100



SIDE ELEVATION



APPROVED
DATE 4 Nov 74
ARCHITECTURAL
BOARD OF REVIEW
TOWN OF NORTH CASTLE
SIGNED A. J. Unwin

FRANCIS C. PINTO ARCHITECT
225 RICH. AVE. MOUNT VERNON, N. Y.
SCALE $\frac{1}{4}" = 1'0"$
DATE SEP 31 1974
NUMBER 50674

