

EXISTING PLOT PLAN; 46 PARKING SPACES

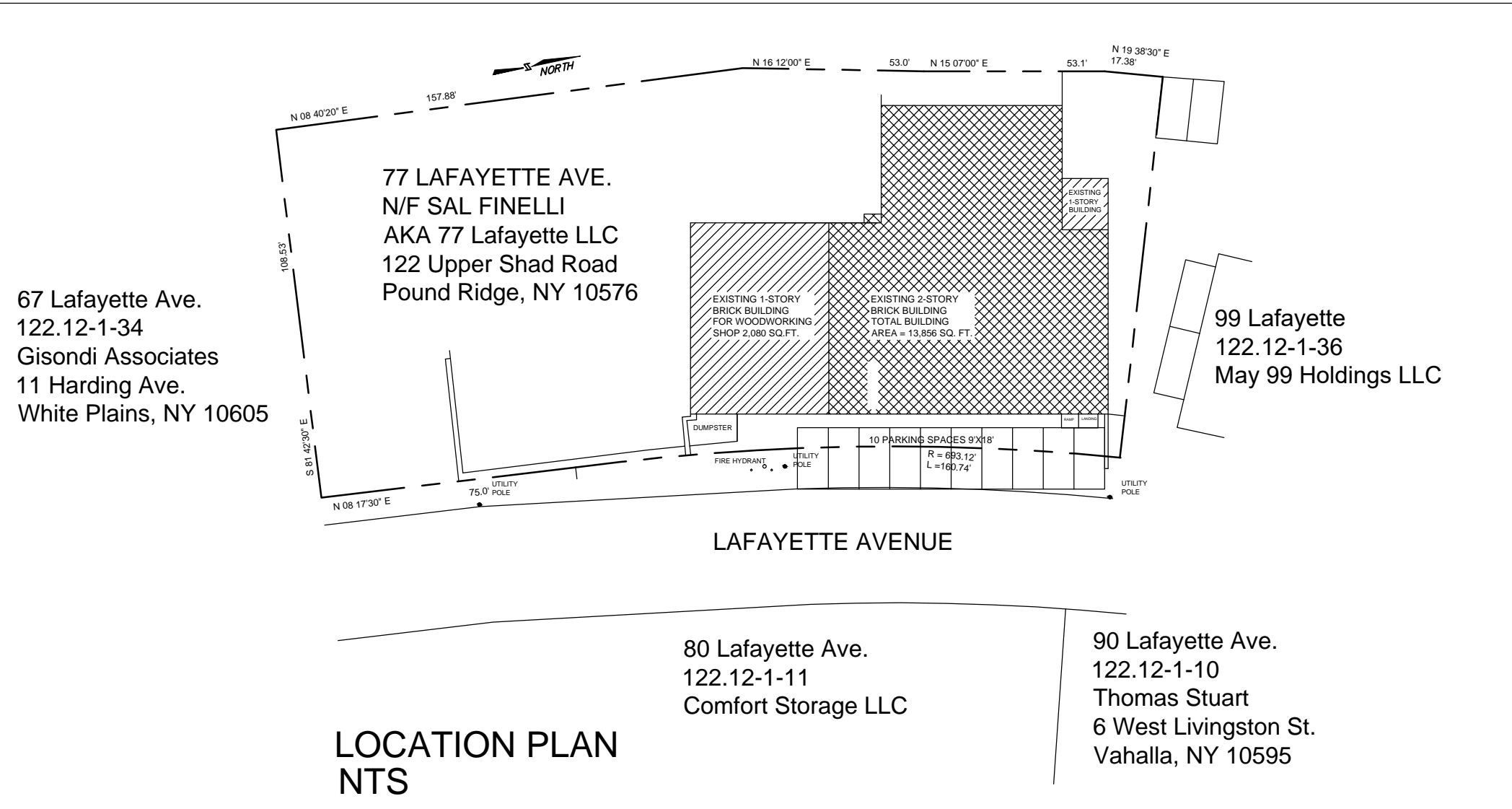
Scale: 1"=10'-0"  
Information on this plan is based  
a plot plan by Robert William Pollack RA on 8/29/1990.

LAFAYETTE AVENUE

SCOPE OF PROJECT

1. MAKE INTERIOR ALTERATIONS FOR FASTSIGNS ON THE  
FIRST FLOOR, INCLUDING A SLOP SINK, UPGRADED  
ELECTRICAL AND ADA ACCESSIBILITY IMPROVEMENTS  
NOTE: THE SPACE IS ALREADY ADA COMPLIANT.

SYMBOL	LIGHTING LEGEND
P	POLE MOUNTED SITE LIGHTON 10' HIGH POLE
S	SCONCE; BUILDING MOUNTED @ 9' ABOVE GRADE
U	UNDER CANOPY LIGHTING (EXISTING)



PLANNING BOARD APPROVAL

LANDLORD CONTACT INFORMATION  
77 LAFAYETTE LLC  
KATHRYN FINELLI  
122 UPPER SHAD RD.  
POUND RIDGE, NY 10576  
914-772-8414



COMMERCIAL BUILDING  
77 LAFAYETTE AVENUE  
NORTH CASTLE, NY

PLOT PLAN

EDWARD G. SWABY  
REGISTERED ARCHITECT  
25 CHADWICK ROAD  
WHITE PLAINS, NY 10604  
(914) 946-3300

DATE:  
7/13/2020  
SCALE:  
AS NOTED  
DRAWING  
NUMBER  
A-1

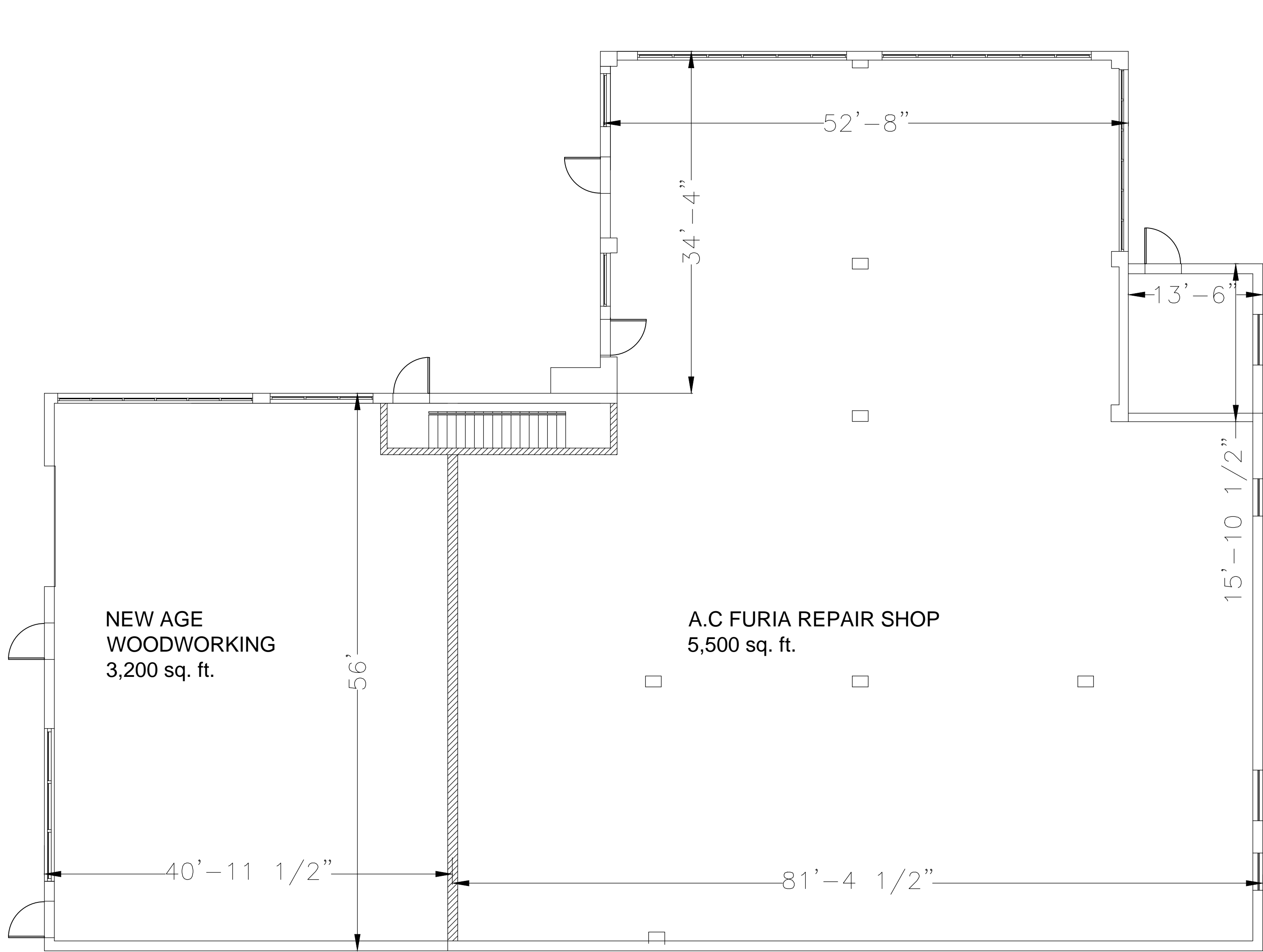
General Notes

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established.
- Timely maintenance of sediment control structures is the responsibility of the Contractor. All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as ordered by the Engineer, and in accordance with the standards set forth in this manual.
- All topsoil not to be used for final grading shall be removed from the site immediately and placed in a stabilized stockpile or fill area. All topsoil required for final grading and stored on site shall be limed, fertilized, temporarily seeded and mulched within 14 days.
- Any disturbed areas that will be left exposed more than 21 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The Contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with NYSDEC Standards for Sediment Erosion Control.

INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.



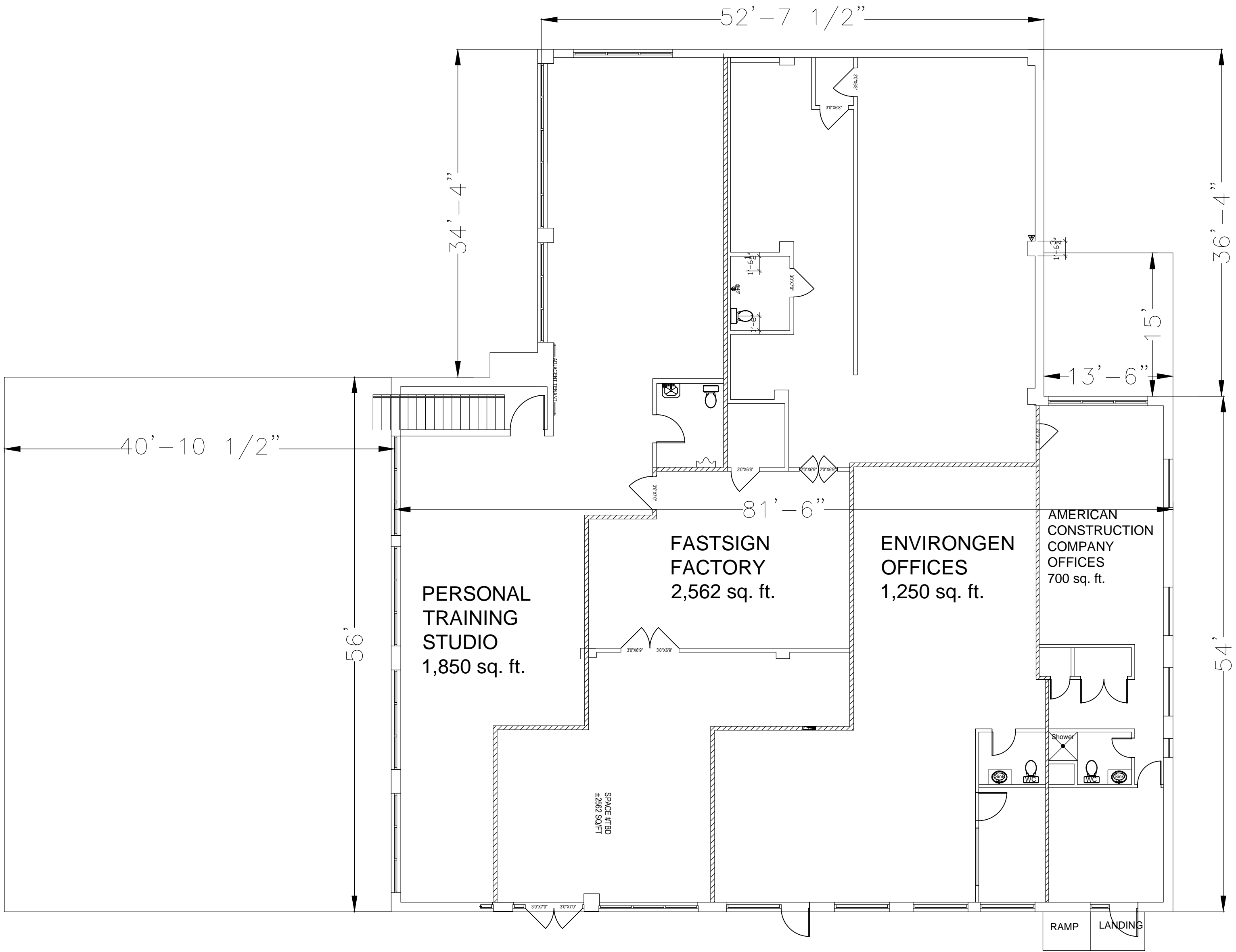


BASEMENT PLAN  
SCALE: 1/8"=1'-0"

OCCUPANT LOAD

FIRST FLOOR	AREA	ACTUAL OCCUPANT LOAD	THEORETICAL OCCUPANT LOAD
Personal Training Studio	1,850 sq. ft.	4 persons	1,850/250= 7.4 Persons
FASTSIGN Factory	2,562 sq. ft.	6 persons	2,562/375= 6.83 Persons
ENVIRONGEN Offices	1,250 sq. ft.	4 persons	1,250/250= 5 Persons
AMERICAN STAR CONSTRUCTION CO. Offices	700 sq. ft.	2 persons	700/ 250= 2.8 Persons
BASEMENT			
A.C. FURIA Repair Shop	5,500 sq. ft.	6 persons	Factory;3,100/375= 8.26 Persons Warehouse; 2,400/1,200= 2 Persons 3 Commercial Vehicles
NEW AGE WOODWORKING Shop	3,200 sq. ft.	3 persons	2,000/375= 5.33 Persons 1,200/1,200= 1 Person 2 Commercial Vehicles
TOTAL OCCUPANT LOAD	15,179 sq. ft./375 = 41 Persons or Spaces	25 Persons or Parking Spaces plus 4 Vehicles= 29 Parking Spaces	38.62 Persons & Spaces plus 4 Vehicles= 43 Parking Spaces

Manufacturing or Industrial; 1 Person / 375 sq. ft. per person + Commercial Vehicles  
Warehouse; 1 Person / 1,200 sq. ft. per person + Commercial Vehicles  
Business or Retail; 1 Person / 200 sq. ft. per person  
Professional or Business offices or Studios; 1 Person / 250 sq. ft. per person (less than 75,000 sq. ft. of building area)



FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

ZONING

ZONE: IND-A Industrial	REQUIRED	EXISTING
Floor Area Ratio	0.60	0.55
Maximum Coverage:		
a. All Buildings	40%	32.3%
Minimum Lot Area	5,000 sq. ft.	27,320 sq. ft.
Minimum Frontage	50'	235.74'
Minimum Depth	100'	108.53'
Minimum Front Yard	10'	9'-5 1/2 "
Minimum One Side Yard		
Minimum Two Side Yards		
Minimum Rear Yard		
Maximum Height in Stories	2	2
Maximum Height in Feet	35'	19'
Parking; See Occupant Load		

FIRST FLOOR; 52.6x34.33+ 56x81.5= 1806 + 4564-2x13.5 =6370-27= 6,343 sq. ft.  
BASEMENT; 40.9X56 + 13.5x15 + 6343= 2,290 + 203+ 6343= 8,836 sq. ft.  
Total Building Area; 15,179 sq. ft.

PLANNING BOARD  
APPROVAL

NO. REVISION DATE

COMMERCIAL BUILDING  
TENANT LEGALIZATION  
77 LAFAYETTE AVENUE  
NORTH CASTLE, NY

FLOOR PLANS

DATE:  
7/13/2020

EDWARD G. SWABY  
REGISTERED ARCHITECT  
25 CHADWICK ROAD  
WHITE PLAINS, NY 10604  
(914) 946-3300

SCALE:  
1/8"=1'-0"  
DRAWING  
NUMBER  
A-2

LANDLORD CONTACT INFORMATION  
77 LAFAYETTE LLC  
KATHRYN FINELLI  
122 UPPER SHAD RD.  
POUND RIDGE, NY 10576  
914-772-8414



Edward G. Swaby RA  
25 Chadwick Road  
White Plains, NY 10604

July 13, 2020

Planning Board  
c/o Adam Kaufman, Director of Planning  
17 Bedford Road  
Armonk, NY 10504-1898

RE: Site Plan - 77 Lafayette Avenue; 122.12-1-35

Dear Members of the Planning Board;

Please find attached an Application for Site Plan Approval for 77 Lafayette Avenue, White Plains, NY 10603 located in the Town of North Castle, NY. The site is a light industrial building located on SBL: 122.12-1-35 and zoned IND-A. Included in this application are drawings of the site as is bearing my seal, a Short Environmental Assessment Form, Escrow and Acknowledgements.

Thank you for your time considering this matter. We look forward to addressing any comments or concerns you may have.

Yours truly,

A handwritten signature in black ink, consisting of the letters 'E' and 'S' in a stylized, cursive-like font.

Edward Swaby, RA



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

### Application for Site Development Plan Approval

Application Name

FASTSIGNS 977 LAFAYETTE LLC

**I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES**

Name of Property Owner: 77 LAFAYETTE LLC  
Mailing Address: 122 UPPER SHAD ROAD, POUND RIDGE NY 10576  
Telephone: 914-772-8414 Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

Name of Applicant (if different): ROBERT BANTA/CPAL CORPORATION  
Address of Applicant: 60 OLCOTT AVENUE, GROTON ON HUDSON, NY 10520  
Telephone: 914-401-0404 Fax: \_\_\_\_\_ e-mail robert.banta@fastsigns.com  
Interest of Applicant, if other than Property Owner: TENANT

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes  
☐

No  
☒

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:  
EDWARD G. SWARTY, RA  
Address: 25 CHADWICK ROAD, WHITE PLAINS, NY 10604  
Telephone: 914-879-4604 Fax: \_\_\_\_\_ e-mail edc.edswarty.com

Name of Other Professional: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

Name of Attorney (if any): \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_



## II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 77 LAFAYETTE AVENUE

Location (in relation to nearest intersecting street):

940 feet (north, south, east or west) of NORTH

Abutting Street(s): VIRGINIA ROAD

Tax Map Designation (NEW): Section 122.12 Block 1 Lot 35

Tax Map Designation (OLD): Section \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Zoning District: IND-A Total Land Area 27,320 SQ. FT.

Land Area in North Castle Only (if different) \_\_\_\_\_

Fire District(s) NC FD 1 School District(s) VAHALLA

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) X

If yes, please identify name(s): MT. PLEASANT & GREENBURGH

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) X BRONX RIVER PARKWAY

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

Does the Property Owner or Applicant have an interest in any abutting property?

No \_\_\_\_\_ Yes X

If yes, please identify the tax map designation of that property:

122.12-1-36

### III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: FACTORY

Gross Floor Area: Existing 15,179 S.F. Proposed 15,179 S.F.

Proposed Floor Area Breakdown:

Retail \_\_\_\_\_ S.F.; Office 3,800 S.F.;

Industrial 11,262 S.F.; Institutional \_\_\_\_\_ S.F.;

Other Nonresidential \_\_\_\_\_ S.F.; Residential \_\_\_\_\_ S.F.;

Number of Dwelling Units: 0

Number of Parking Spaces: Existing 46 Required \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Loading Spaces: Existing 1 Required \_\_\_\_\_ Proposed \_\_\_\_\_

Earthwork Balance: Cut 0 C.Y. Fill 0 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes \_\_\_\_\_

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No X Yes \_\_\_\_\_

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes \_\_\_\_\_

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes \_\_\_\_\_

(If yes, application for a State Wetlands Permit may also be required.)



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

- Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <b>77 LAFAYETTE LLC / FASTSIGNS</b>							
Project Location (describe, and attach a location map): <b>77 LAFAYETTE AVE.</b>							
Brief Description of Proposed Action: <b>APPROVAL OF SITE PLAN</b>							
Name of Applicant or Sponsor: <b>77 LAFAYETTE LLC</b>		Telephone: <b>114-772-8414</b>					
		E-Mail:					
Address: <b>122 UPPER SHAD ROAD</b>							
City/PO: <b>POUND RIDGE</b>		State: <b>NY</b>	Zip Code: <b>10576</b>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		<u>.62</u> acres					
b. Total acreage to be physically disturbed?		<u>.05</u> acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>.92</u> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: <u>EXISTING</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: <u>EXISTING</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES	
If Yes,			
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
If Yes, briefly describe: _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>22 LAFAYETTE LLC</u>		Date: <u>7/13/2020</u>
Signature: <u>Salvatore Funelli</u>		

**PRINT FORM**



### Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: \_\_\_\_\_

Date: 7/13/2020

Signature of Property Owner: \_\_\_\_\_

Date: 7/13/20

MUST HAVE BOTH SIGNATURES



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS**

<b><u>Type of Application Deposit*</u></b>	<b><u>Amount of Initial Escrow Account</u></b>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

\* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

7/13/2020  
Date: