

LOCATION MAP

N.T.S.

NOTES PERTAINING TO FACILITY MAINTENANCE:

- McKenna Custom Homes shall perform the Maintenance Procedures and shall pay all expenses related to the use, maintenance, repair and replacement of the Stormwater Control Facilities.
- In the event that the property is conveyed to another party or parties, the subsequent owner or owners shall, as a result of such conveyance, assume all responsibility for performing the Maintenance Procedures and for any other costs associated with using, maintaining, repairing and replacing the Stormwater Control Facilities located on his or their lot or lots except that all property owners shall equally share in the maintenance and repair costs of all control facilities contained in Storm Water Mitigation Areas, identified on the approved subdivision map of McKenna Custom as "Easement for Common Stormwater Management Facilities Maintenance".
- The conveyance of the property shall unconditionally release the party conveying any such property from all obligations contained herein, unless provided for otherwise in a contract of sale or other agreement between the parties to any such conveyance.

SECTION 107.01, BLOCK 1, LOT 33
5 HIDDEN OAK ROAD
N/F AVERY

6 HIDDEN OAK ROAD
SECTION 107.01, BLOCK 1, LOT 31.1
N/F N.Y.C. DEPT.
OF ENVIRONMENTAL PROTECTION

SECTION 107.01,
BLOCK 1, LOT 46
9 HIDDEN OAK ROAD

280 KING STREET
SECTION 107.01, BLOCK 1, LOT 47
N/F REINHARDT

Proposed
Lot 1
1.864 Acres
107.01-1-32.1
12 HIDDEN OAK ROAD

Proposed
Lot 2
1.920 Acres
107.01-1-32.2
14 HIDDEN OAK ROAD

Proposed
Conservation Lands
0.994 Acres
107.01-1-32.4

Proposed
Lot 3
2.045 Acres
107.01-1-32.3
16 HIDDEN OAK ROAD

Proposed
Conservation Lands
0.994 Acres
107.01-1-32.4

Proposed Roadway Area
0.864 Acres
107.01-1-32.5
(ROADWAY TAX
LOT NUMBER)

ZONING DATA

ZONE: R-2A; TOTAL ACREAGE/PROPERTY BEING SUBDIVIDED: 7.69 ACRES						
TAX MAP DESIGNATION: SECTION 107.01-BLOCK 1-LOT 32						
FIRE DISTRICT: ARMONK DISTRICT						
SCHOOL DISTRICT: BYRAM HILLS CENTRAL						
	REQUIRED	PROVIDED				
MIN. LOT AREA	1.0 ACRES	LOT 1	LOT 2	LOT 3	CONSERVATION	ROADWAY
FRONTAGE	125'	458'	73'	61'	N/A	N/A
DEPTH	150'	168'	315'	276'	N/A	N/A
WIDTH	125'	254'	243'	201'	N/A	N/A
FRONT SET-BACK	50'	57'	141'	175'	N/A	N/A
SIDE SET-BACK	30'	103'/ 164'	103'/ 31'	43'/ 85'	N/A	N/A
REAR SET-BACK	40'/50'	79'	184'	145'	N/A	N/A

TOTAL SUBDIVISION AREA: 7.69 ACRES

OWNER:

McKENNA CUSTOM HOMES
343 MANVILLE ROAD, PLEASANTVILLE, NY 10570

DATE:

OCT. 6, 2016

DRAWN BY: J.H.

CHK BY: W.J.W.

SCALE: 1"= 40'

**PRELIMINARY PLAT
HIDDEN OAK SUBDIVISION**

PROPOSED LOTS 1, 2, & 3
[SECTION 107.01 - BLOCK 1 - LOT 32]

**IN ARMONK
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK**

SHEET NO.

1 OF 1

PROJ. NO.

0526.00

JOB #

0526.00

CAD FILE:

252600_SUB2014.DWG

NOTES

- FIELD SURVEY WAS CONDUCTED DECEMBER, 2004, JANUARY 2005, AUGUST 2014 & JUNE 2015 BY WELSH ENGINEERING & LAND SURVEYING, P.C.
- PROPERTY LINES AND BEARINGS ARE BASED UPON CLIENT PROVIDED SURVEY, ENTITLED "SURVEY OF PROPERTY PREPARED FOR WHIPPOORWILL HILLS, INC., IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK", DATED 4/28/1947, DEED FILED WITH THE WESTCHESTER COUNTY CLERK IN LIBER 6582, PAGE 326, ON 1/17/1966 AND, MAP FILED WITH THE WESTCHESTER COUNTY CLERK AS MAP NO. 5868.
- THERE ARE NO TOWN REGULATED OR OTHER WETLAND AREAS ON SITE.
- DUE TO CONSERVATION SUBDIVISION CRITERIA, REQUIREMENTS PERTAINING TO THIS SITE FOR SETBACKS FROM PROPERTY LINES MAY NOT NEED TO CONFORM TO ZONE 2A VALUES LISTED IN TABLE SHOWN BELOW.
- ALL NEW HOMES SHALL BE PROVIDED WITH UNDERGROUND UTILITIES.
- EASEMENT FOR STORM WATER (*) IS DEFINED AS: "EASEMENT FOR COMMON STORMWATER MANAGEMENT FACILITY MAINTENANCE".

6 HIDDEN OAK ROAD
("N.Y.C. BUREAU OF WATER SUPPLY, O W F L")

LEGEND

BELGIUM BLOCK CURB	—	GUY ANCHOR	↑
EDGE OF PAVEMENT	—	UTILITY POLE	○
CHAIN LINK FENCE	—	"+" CUT	⊕
STONE WALLS	—	CONCRETE MONUMENT	⊗
BUILDING LINE	—	METAL PIN	⊙
OVERHEAD WIRES	—	HUB & TACK	□
PROPERTY LINE	—	EXISTING BEDROCK	—
ADJOINING PROPERTY LINE	—	EXISTING STEEP SLOPE	—
PROPOSED PROPERTY LINE	—	PROPOSED MONUMENTS	■
SET BACK LINE	—		
CONTOUR (EXISTING)	—		
CONTOUR (PROPOSED)	—		
PROPOSED STORM WATER AREA	—		
PHASE 1 LIMITS OF DISTURBANCE [ROAD WORK]	—		
PHASE 2 LIMITS OF DISTURBANCE [HOUSE BUILDING WORK]	—		

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED _____

JOHN P. DELANO, CHARMAN,
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
KELLARD SESSIONS, PC
CONSULTING TOWN ENGINEERS

OWNER:

McKENNA CUSTOM HOMES
343 MANVILLE ROAD, PLEASANTVILLE, NY 10570

DATE:

OCT. 6, 2016

DRAWN BY: J.H.

CHK BY: W.J.W.

SCALE: 1"= 40'

**PRELIMINARY PLAT
HIDDEN OAK SUBDIVISION**

PROPOSED LOTS 1, 2, & 3
[SECTION 107.01 - BLOCK 1 - LOT 32]

**IN ARMONK
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK**

SHEET NO.

1 OF 1

PROJ. NO.

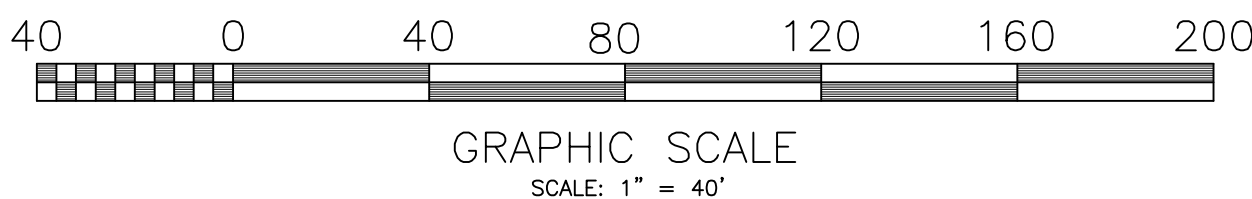
0526.00

JOB #

0526.00

CAD FILE:

252600_SUB2014.DWG



WILLIAM J. WELSH N.Y. STATE LAND SURVEYOR LIC. # 49626

DATE: _____



LOCATION MAP
N.T.S.

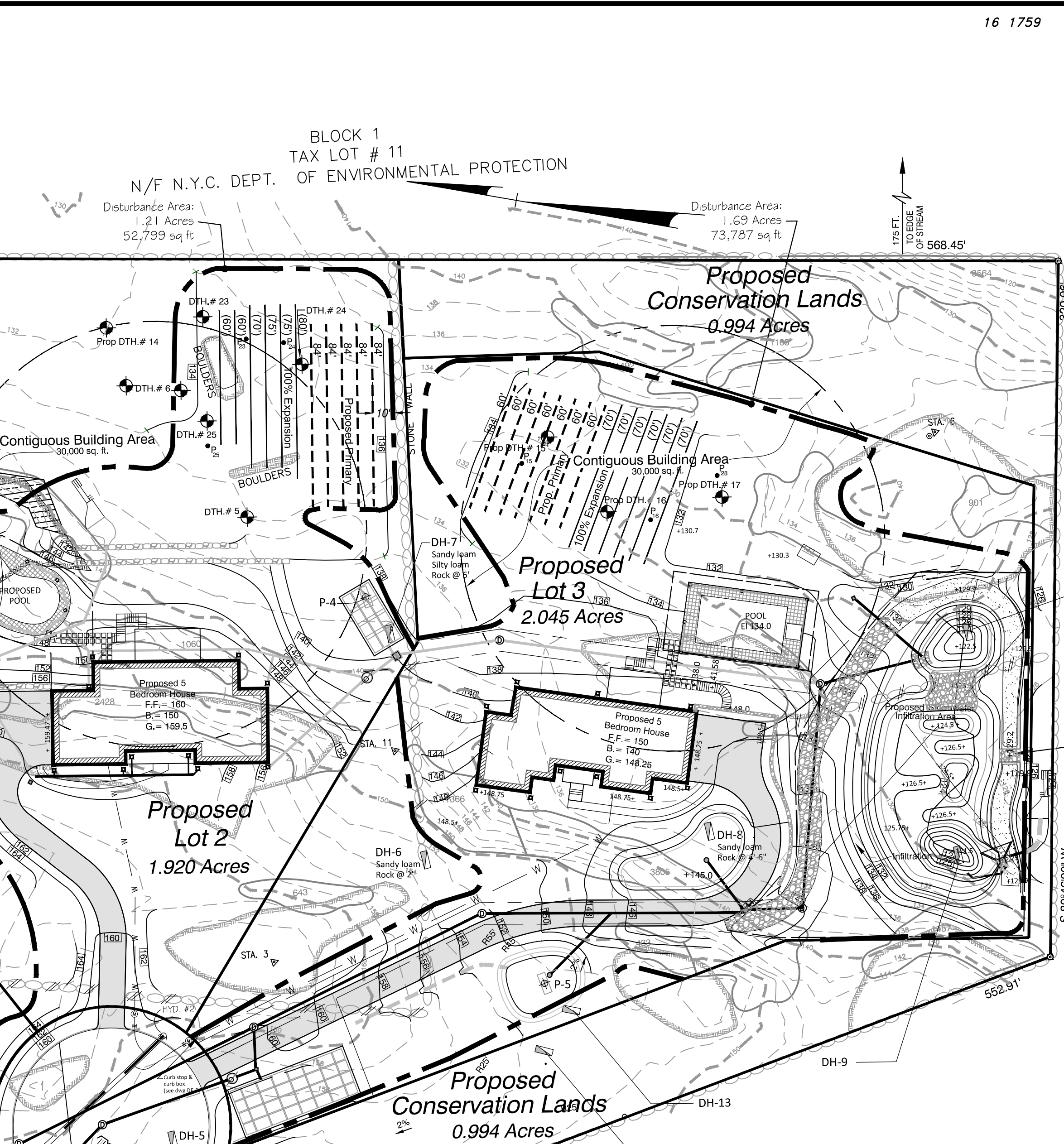
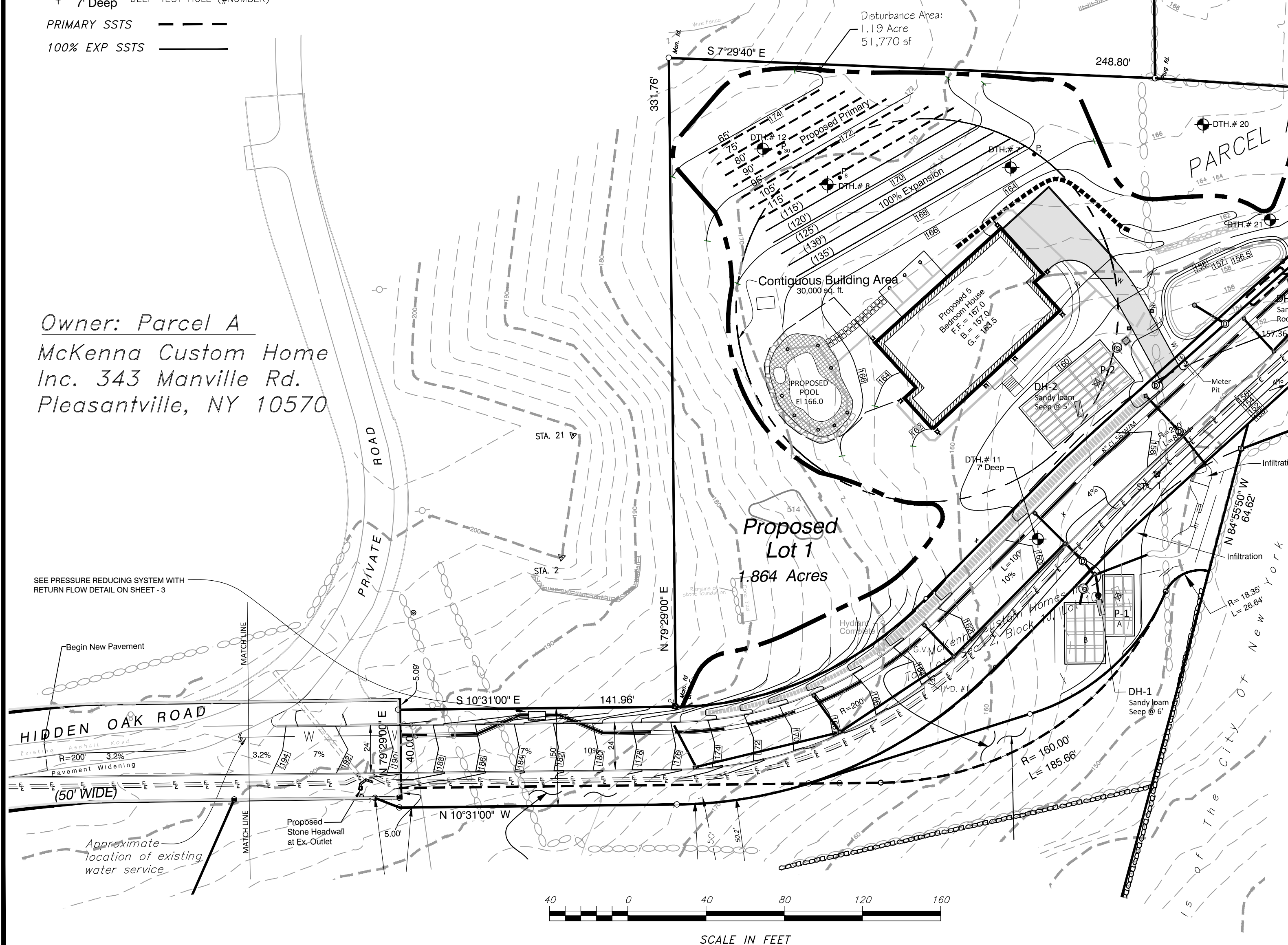
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING TREE LINE
- PROPOSED CLEARING/GRADING LIMIT
- PROPOSED SILT FENCE
- EXISTING TREE LOCATION & DESIGNATION
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE PROTECTED
- PROPOSED RETAINING WALL
- WALL HEIGHT
- EXISTING STEEP SLOPES 25% OR GREATER (Provided by Welsh Engineering and Land Surveying)
- DEEP TEST HOLE (#NUMBER)
- PRIMARY SSTS
- 100% EXP SSTS

Owner: Parcel A
McKenna Custom Home
Inc. 343 Manville Rd.
Pleasantville, NY 10570

TABLE OF LAND USE				
ZONING DATA:	CONSERVATION SUBDIVISION			
ZONE: R-2A	TOTAL ACREAGE / SIZE OF PROPERTY TO BE SUBDIVIDED: 7.69 ACRES			
TAX MAP:	SECTION 107.01, BLOCK: 1, LOT 32			
FIRE DISTRICT:	ARMONK FIRE DISTRICT			
SCHOOL DISTRICT:	BYRAM HILLS CENTRAL			
	REQUIRED	PROVIDED		
		LOT 1	LOT 2	LOT 3
GROSS LOT AREA	1 Ac.	1.864 Ac.	1.920 Ac.	2.045 Ac.
SLOPES > 25%		0	0.102 Ac.	0.084 Ac.
50% FACTOR AS PER SEC. 213-3		0	0.051 Ac.	0.042 Ac.
NET LOT AREA	1 Ac.	1.863 Ac.	1.869 Ac.	2.003 Ac.
CONTIGUOUS BUILDING AREA	20,000 S.F.	>20,000 S.F.	>20,000 S.F.	>20,000 S.F.
FRONTAGE	125'	458'	73'	61'
DEPTH	150'	168'	315'	276'
WIDTH	125'	254'	243'	201'
MIN. YARD SETBACKS	FRONT	50'	57'	175'
	SIDE	30' 2	103/ 164'	103/ 31'
	REAR	40' / 50' 3	79'	184'

SUMMARY			
	LOT 1	LOT 2	LOT 3
DISTURBANCE AREA	47,742 S.F.	51,831 S.F.	68,555 S.F.
CUT/FILL	2,122 yd ³ (CUT)	550 yd ³ (FILL)	204 yd ³ (FILL)
TOWN REGULATED TREE REMOVAL	74	59	117
TOWN REG SPICEMEN TREE REMOVAL	4	1	2
WETLAND DISTURBANCE	0	0	0
WETLAND BUFFER DISTURBANCE	0	0	0
MAX GROSS LAND COVERAGE	12,302 SF	13,009 SF	13,375 SF
MAX FLOOR AREA	10,296 SF	10,470 SF	10,296 SF
HOUSE FOOTPRINT SHOWN	4,600 SF	4,050 SF	3,600 SF
GROSS LAND COVERAGE SHOWN	9,320 SF	9,368 SF	11,044 SF

- INCLUDES LAND DISTURBANCE FOR CONSTRUCTION OF STORMWATER MANAGEMENT BASIN
- PURSUANT TO SECTION 213.25.D(4)(a) OF THE TOWN CODE, ON NORTH SIDE OF LOT 1, A 30-FOOT SIDE YARD SETBACK IS PROVIDED. LIKEWISE, ON THE NORTHERN SIDE LOT LINE OF LOT 2, A 30-FOOT SETBACK IS PROVIDED.
- PURSUANT TO SECTION 213.25.D(4)(a) OF THE TOWN CODE, ON EASTERN REAR LOT LINE OF LOT 1, A 50-FOOT REAR YARD SETBACK IS PROVIDED. IN ADDITION, ON THE EASTERN REAR LOT LINE ON LOT 2, A 50-FOOT SETBACK IS PROVIDED.



Notes:
Lot 1: DTH # 20 Area not part of Septic
Lot 1: DTH # 21 Area not part of Septic
Lot 2: DTH # 5 Soil Depth only
Lot 2: DTH # 6 H₂O at 1' Area unsuitable for Septic
Lot 2: DTH # 13 H₂O at 0' Area unsuitable for Septic
Lot 2: DTH # 14 H₂O at 3' Area unsuitable for Septic

ALL DH - # are deep test holes for stormwater systems only

Survey Mapping provided by:

WELSH ENGINEERING & LAND SURVEYING, P.C.
343 MANVILLE ROAD
PLEASANTVILLE, N.Y. 10570 (914) 773-1701

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED FEB. 9, 2015.

JOHN P. DELANO, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
KELLARD SESSIONS, P.C.
CONSULTING TOWN ENGINEERS

LOT N°	AREA (ACRES)	TEST PIT DESCRIPTION	AREA OF SSTA (sq.ft.)	%SLOPE SSTA AREA	PERC. RATE (min/in)	DEPTH TO WATER	DEPTH TO IMPERV. LAYER	LENGTH OF FIELDS 5 BR.	BANK RUN FILL DEPTH	CURTAIN DRAIN DEPTH	REMARKS
1	1.86	7) 6" TOP SOIL, 6"-36" LOAM SOIL, ROOTS, 36"-60" SILTY LOAM, 60"-93" SANDY LOAM 8) 6" TOP SOIL, 6"-36", 36"-60" SILTY LOAM 60"-100" SANDY LOAM 12) 6" TOP SOIL, 6"- 36" STONEY SILTY LOAM, 36"-68" SANDY LOAM, 68" ROCK	8,000	7.5%	11.7	-	5.7'	625	1.5'	445	1.5' BANK RUN FILL PUMP
2	1.92	23) 6" TOP SOIL, 6"-36" SILTY LOAM, 36"-90" SANDY LOAM, H ₂ O AT 90" 24) 6" TOP SOIL, 6"-30" SILTY LOAM, 30"-96" SANDY LOAM 25) 6" TOP SOIL, 6"-72" SANDY SILT	7,700	9.5%	5.0	-	6'	420	1'	285	1' BANK RUN FILL
3	2.05	15) 6" TOP SOIL, 6"-36" SILTY SOIL, 36"-90" SANDY LOAM, H ₂ O AT 90" 16) 6" TOP SOIL, 6"-30" SILTY LOAM, 30"-78" SANDY LOAM, H ₂ O AT 78" 17) 6" TOP SOIL, 6"-30" SILTY LOAM, 30"-84" SANDY LOAM, H ₂ O AT 84"	11,000	9.8%	4.3	84"	7'	420	-	-	-

No.	REVISIONS	DATE
1	GENERAL REVISIONS	3-19-13
2	GENERAL REVISIONS	4-5-13
3	GENERAL REVISIONS	5-20-13
4	LOT 3 SEPTIC AREA REVISED	12-4-13
5	ADDED DEEP TEST HOLES	12-10-13
6	UPDATE SECTION, BLK & LOT NO.	1-7-14
7	SIGNATURE BLOCK ADDED	2-4-14
8	GENERAL REVISIONS	3-12-14
9	GENERAL REVISIONS	5-20-14
10	GENERAL REVISIONS	6-10-14
11	GENERAL REVISIONS	6-26-14
12	GENERAL REVISIONS	11-14-14
13	GENERAL REVISIONS	5-27-15
14	GENERAL REVISIONS	6-15-15
15	GENERAL REVISIONS	7-28-15
16	GENERAL REVISIONS	8-17-15
17	GENERAL REVISIONS	2-22-16

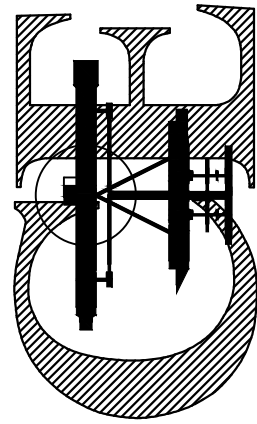
INTEGRATED PLOT PLAN
Prepared for

McKenna Custom Homes Inc.
13 Hidden Oak Rd
Town of North Castle
Westchester Co., N.Y.

Tax Map: Sec. 107.01, Blk.1, Lot 32
Date: 5-15-13

CAMPBELL ENGINEERING

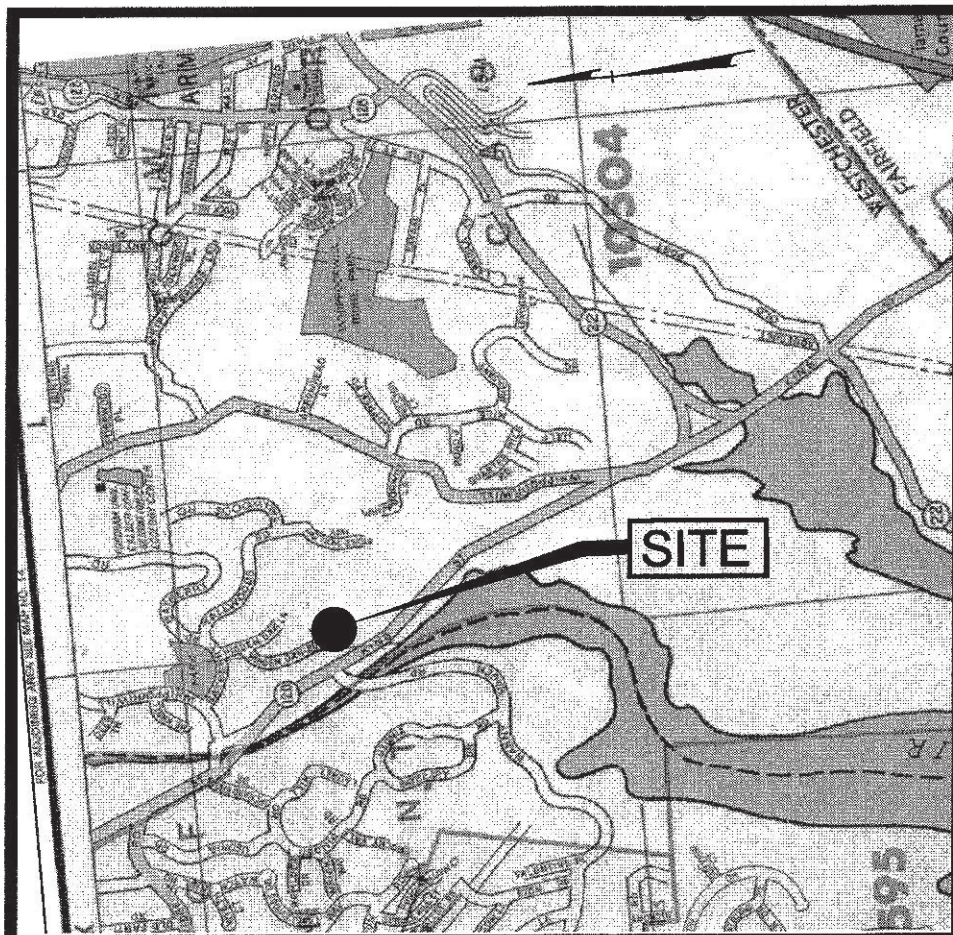
Civil Engineers
Hydrology / Land Planners
Sanitary and Storm Sewers
Water Supply and Sewage Disposal
Michael H. Campbell, PE
Michael@914engineer.com
(914) 238-3555
Fax (914) 238-3435
Chappaqua, New York 10514



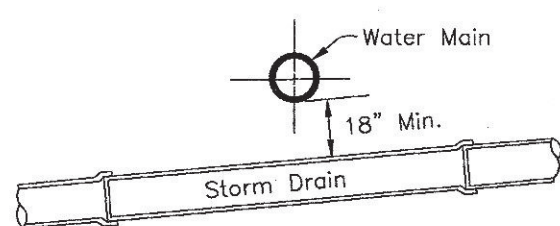
SCALE 1"=40'

IPP-1

SHEET 1 OF 3



LOCATION MAP
N.T.S.



SEPARATION DETAIL
N.T.S.

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED FEB. 9, 2015.

JOHN P. DELANO, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
KELLARD SESSIONS, P.C.
CONSULTING TOWN ENGINEERS

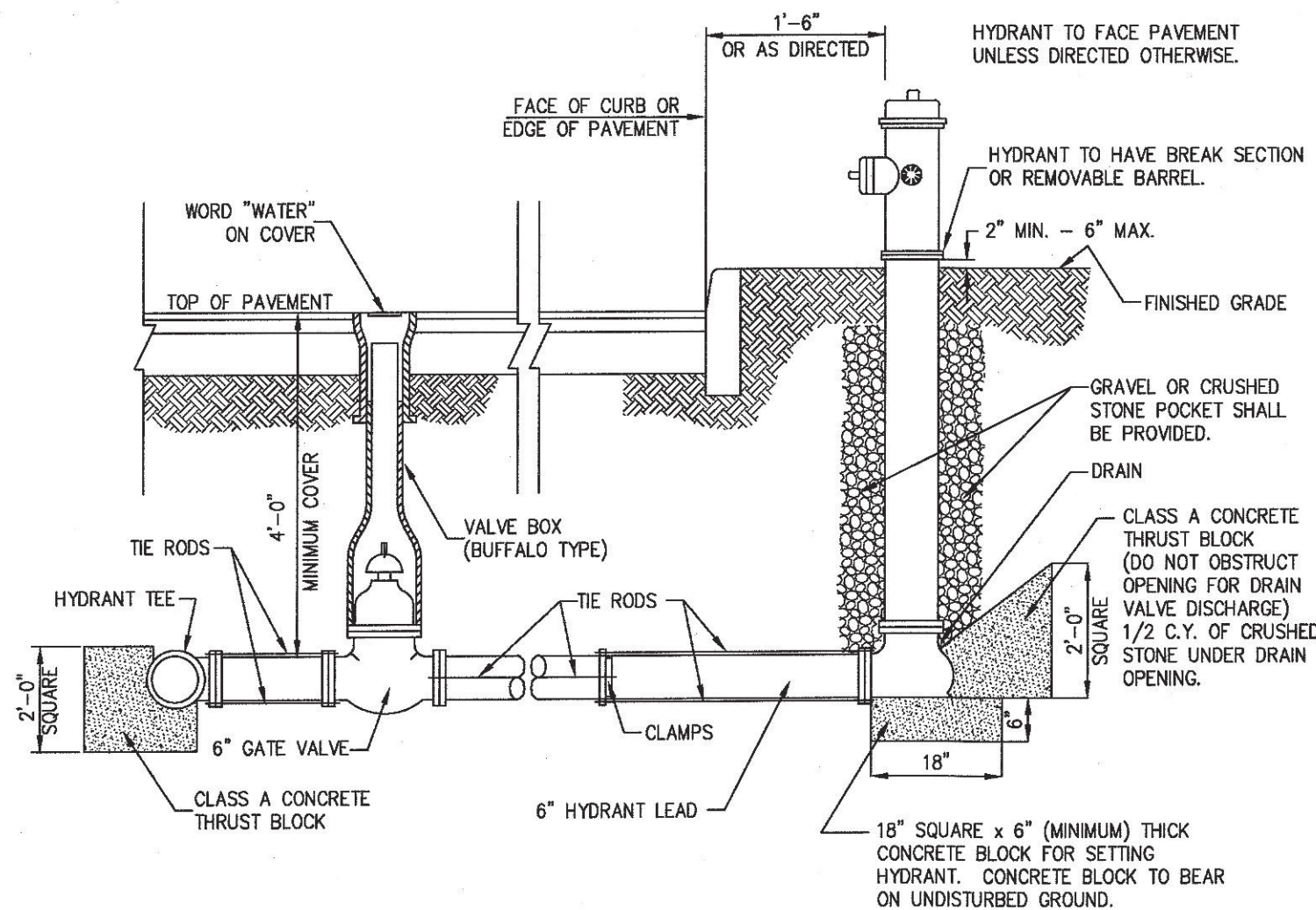
Hydrant Installation Complete

1

FIRE HYDRANT TO BE STANDARD OF:
TOWN OF NORTH CASTLE
3 WAY MUELLER SUPER CENTURION 250
CAT No. A-423

FIRE HYDRANT TO BE PAINTED
IN ACCORDANCE WITH:
TOWN OF NORTH CASTLE STANDARDS

HYDRANT TO FACE PAVEMENT
UNLESS DIRECTED OTHERWISE.

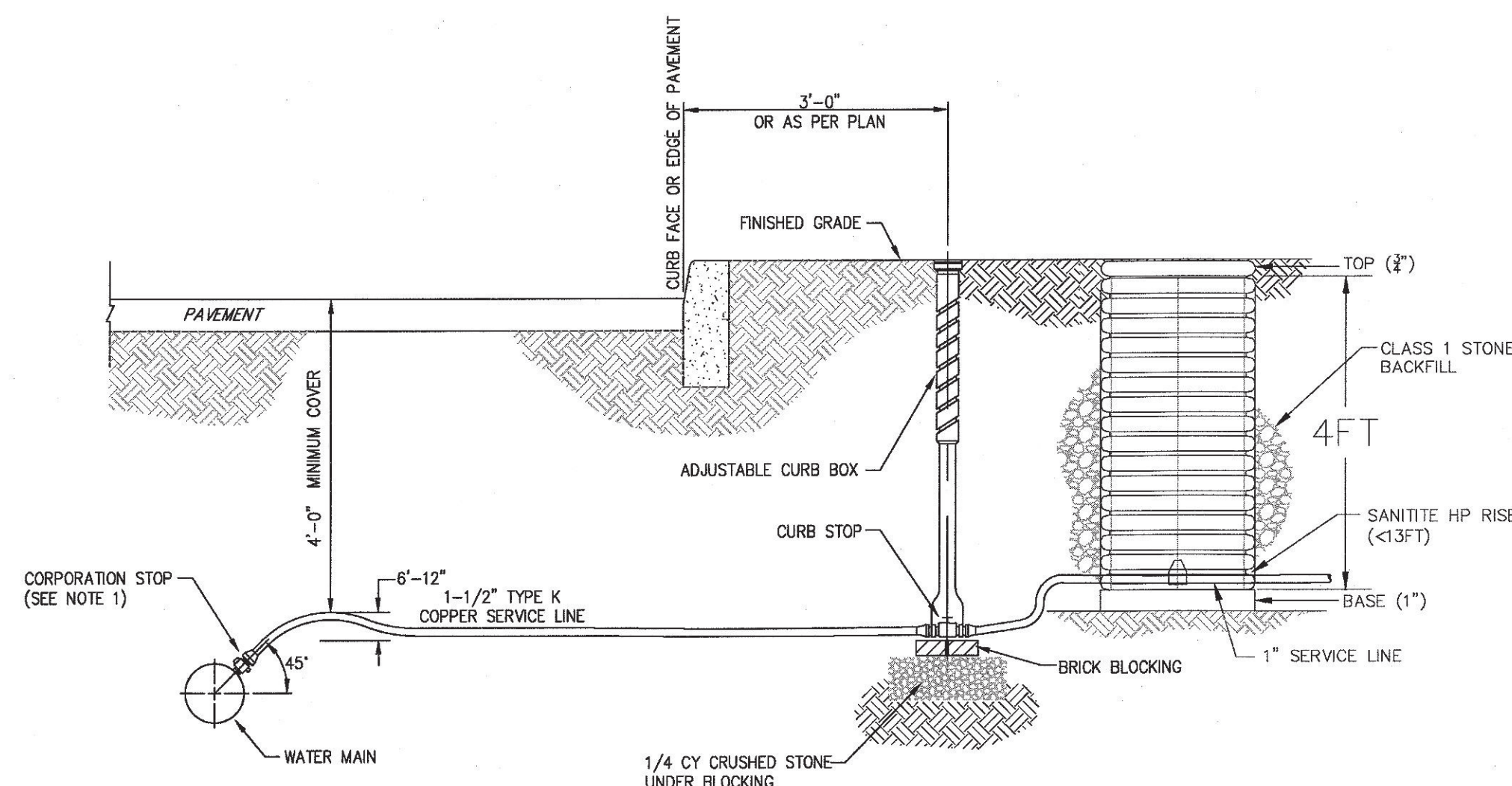


NOTES:

- ALL CONCRETE THRUST BLOCKS TO BEAR ON UNDISTURBED GROUND.
- RODING SHALL CONSIST OF TWO 3/4" THREADED STEEL TIE RODS WITH NUTS AND WASHERS COMPLETE WITH ALL NECESSARY AND REQUIRED CLAMPS, CAREFULLY AND THOROUGHLY COVERED WITH ASPHALT OR OTHER ACCEPTABLE CORROSIVE RETARDING MATERIAL. IN GENERAL, THE METHOD AND TYPES OF MATERIAL REQUIRED IN THE INSTALLATION OF CLAMPS AND THE RODS SHALL BE IN ACCORDANCE WITH THE LATEST NATIONAL FIRE PROTECTION STANDARDS.
- HYDRANT DRAINS SHALL NOT BE CONNECTED TO OR WITHIN TEN (10) FEET OF SANITARY SEWERS OR STORM DRAINS.
- IF GROUND WATER IS FOUND WITHIN SEVEN (7) FEET OF THE SURFACE, HYDRANT DRAINS ARE TO BE PLUGGED. WHEN DRAINS ARE TO BE PLUGGED, THE BARRELS MUST BE PUMPED DRY AFTER USE DURING FREEZING WEATHER. SUCH HYDRANTS SHALL BE IDENTIFIED WITH A VISIBLE MARKING AS APPROVED BY THE WATER AUTHORITY.

Water Service Connection

2



CONSTRUCTION MATERIALS

SIZE	SERVICE LINE (Material)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER	H-1500B	H-15214	H-10350	Not Applicable
1"	COPPER	H-1500B	H-15214	H-10350	Not Applicable
1-1/2"	COPPER	H-15013	H-15214	H-10350	Not Applicable
2"	COPPER	H-15013	H-15214	H-10350	H-10349

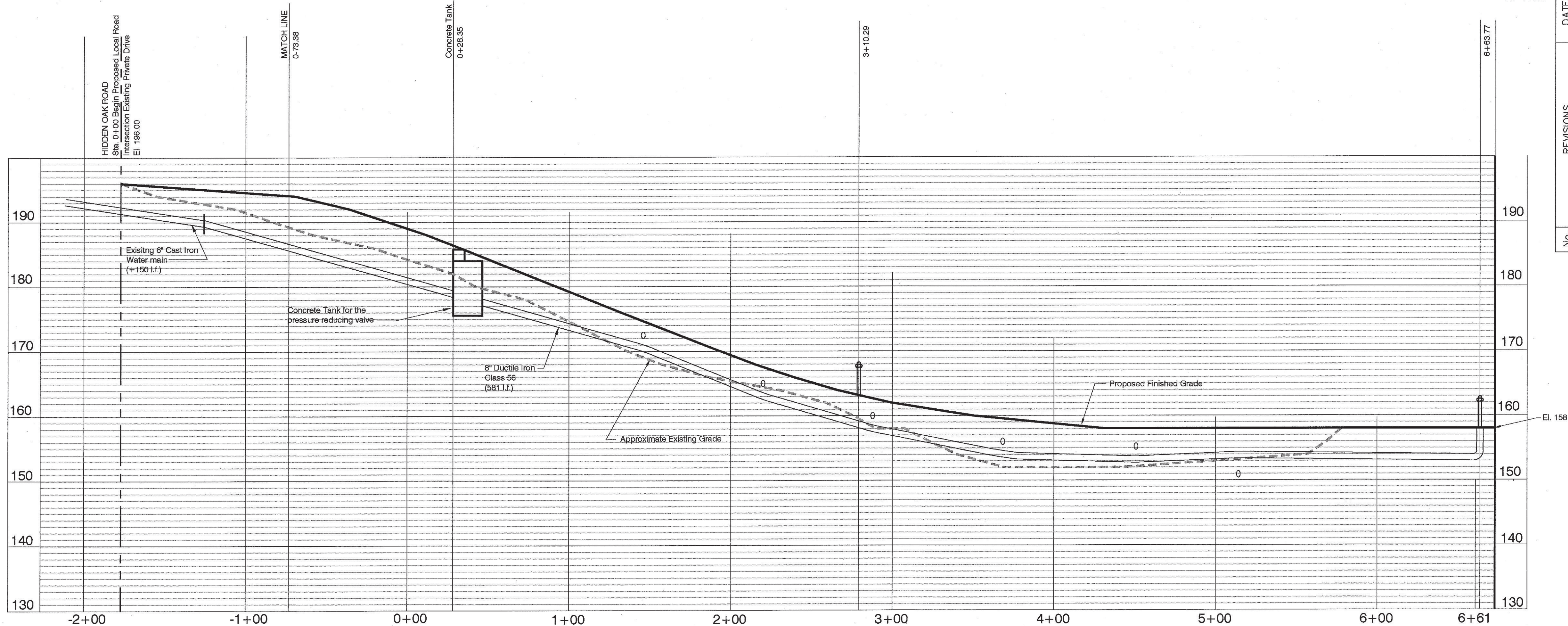
CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER TO MUELLER COMPANY.

NOTES:

- INSTALLATION OF 1-1/2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
- SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.

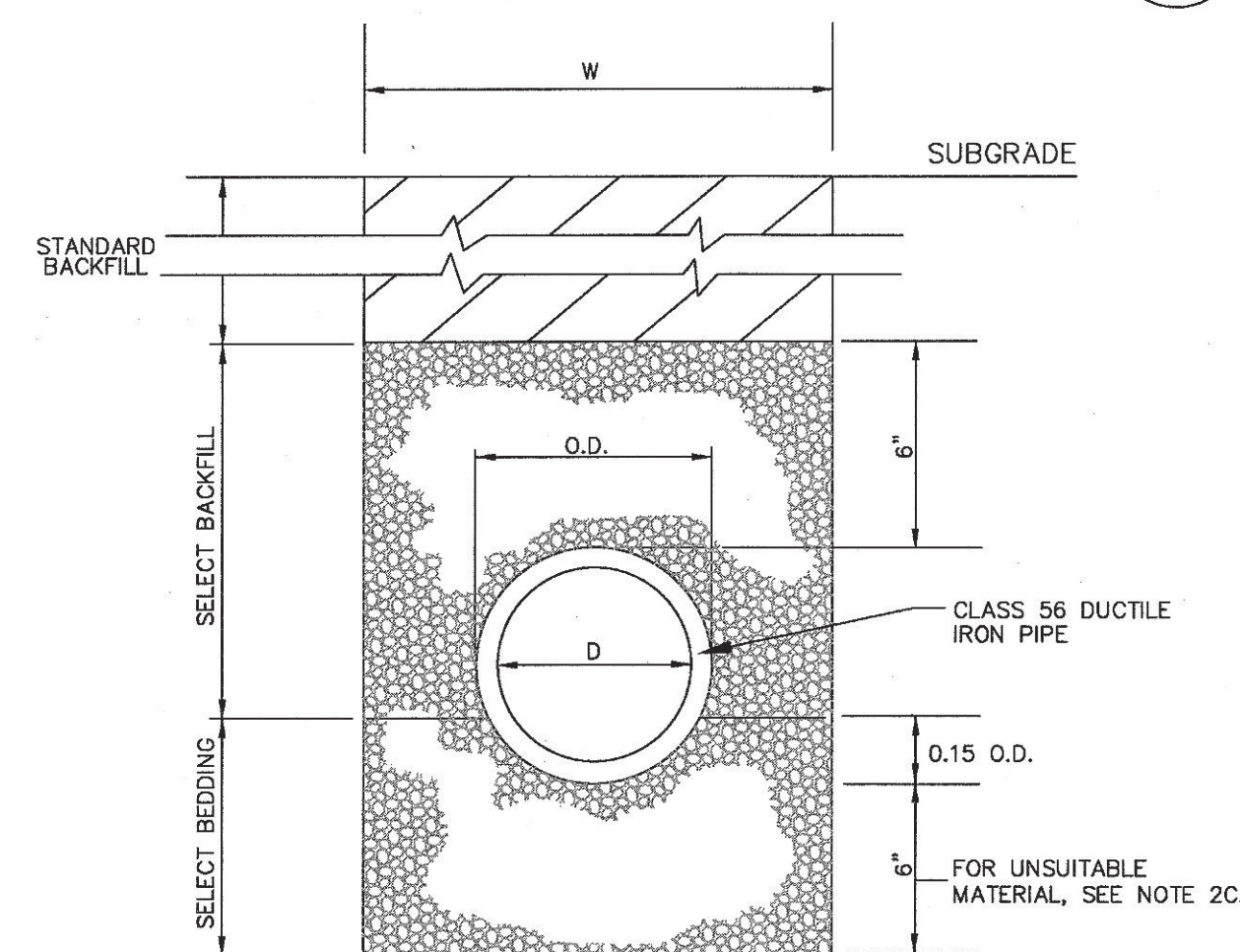
PROPOSED HIDDEN OAK ROAD EXTENSION CENTERLINE LOCAL ROAD PROFILE

SCALE: 1" = 10' VERT.
1" = 40' HORZ.



Water Main Trench

3



D=INSIDE DIAMETER, SPAN, OR RISE
O.D.=OUTSIDE DIAMETER, SPAN, OR RISE
H.D.=OUTSIDE DIAMETER, SPAN, OR RISE @ BELL OR BAND
W=H.D. + 2.0' - FOR 48" OR SMALLER DIAMETER, SPAN, OR RISE
W=H.D. + 2.5' - FOR GREATER THAN 48" DIAMETER, SPAN, OR RISE

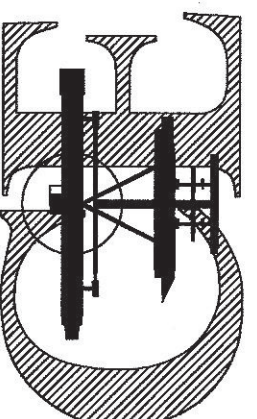
NOTES:

- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
A. EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
B. CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
- TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
A. FOR ALL PVC PIPE AND CONDUIT INSTALLATION.
B. WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
C. WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
- FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.

Owner: Parcel A
McKenna Custom Home
Inc. 343 Manville Rd.
Pleasantville, NY 10570

CAMPBELL ENGINEERING

Civil Engineers
Hydrology, Land Planners
Sanitary and Storm Sewers
Water Supply and Sewage Disposal
Michael H Campbell, PE
25 Memorial Drive
P.O. Box 255
Chappaqua, New York 10514



SCALE 1"=40'

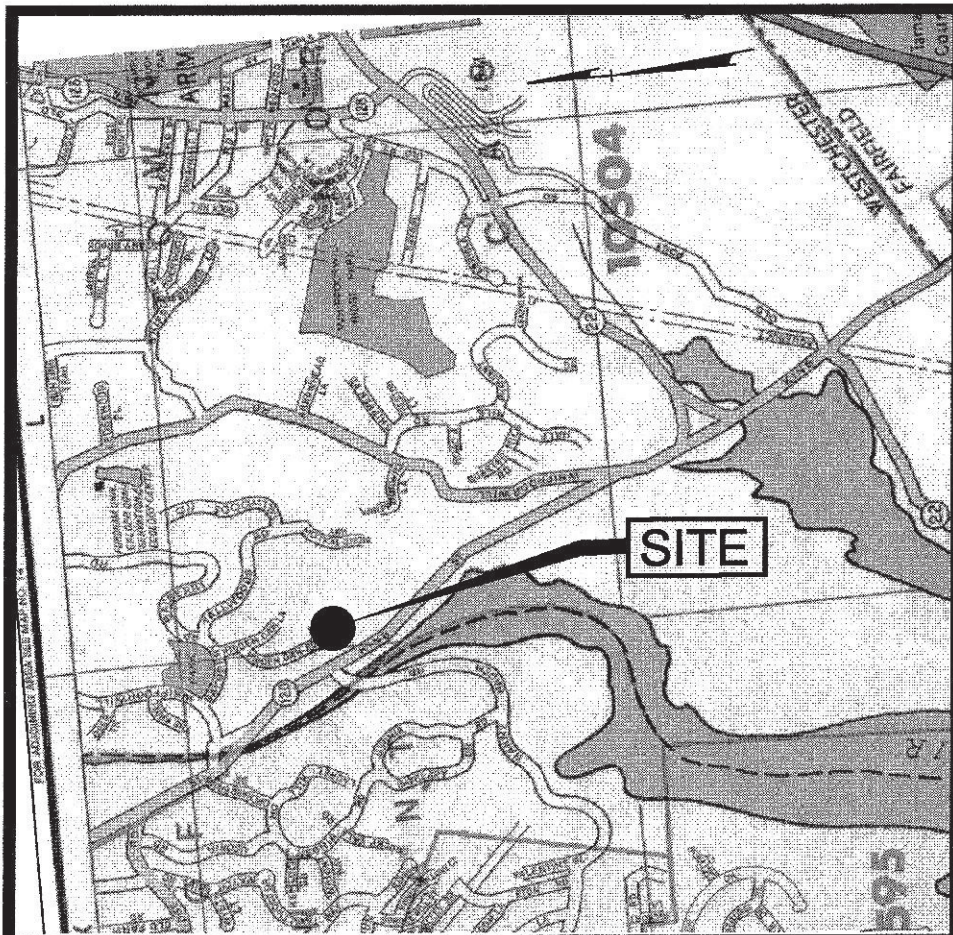
D-1

3 LOT SUBDIVISION SITE PLAN PROFILES & DETAILS

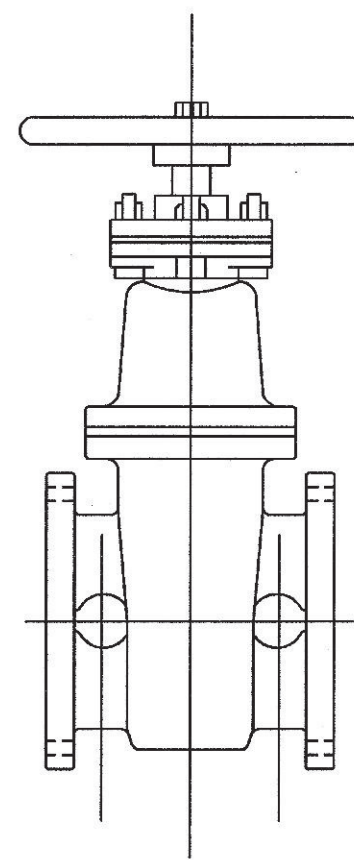
Prepared for
McKenna Custom Homes Inc.
13 Hidden Oak Rd
Town of North Castle
Westchester Co., N.Y.

Tax Map: Sec. 107.01, Blk. 1, Lot 32
Date: 8-29-15

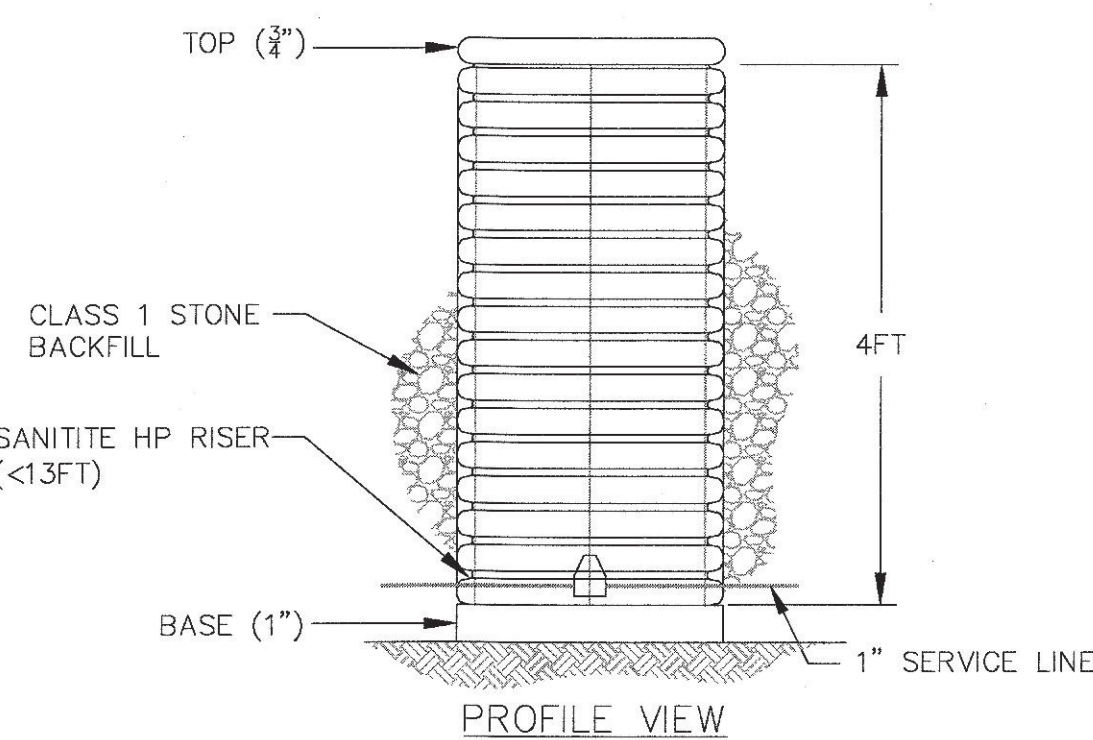
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6	UPDATE SECTION, BLK & LOT NO.	1-7-14
7	SIGNATURE BLOCK ADDED	2-4-14
8	GENERAL REVISIONS	2-22-16
9	GENERAL REVISIONS	3-18-16
10	GENERAL REVISIONS	4-20-16
11	GENERAL REVISIONS	6-30-16
12	GENERAL REVISIONS	8-3-16



LOCATION MAP
N.T.S.

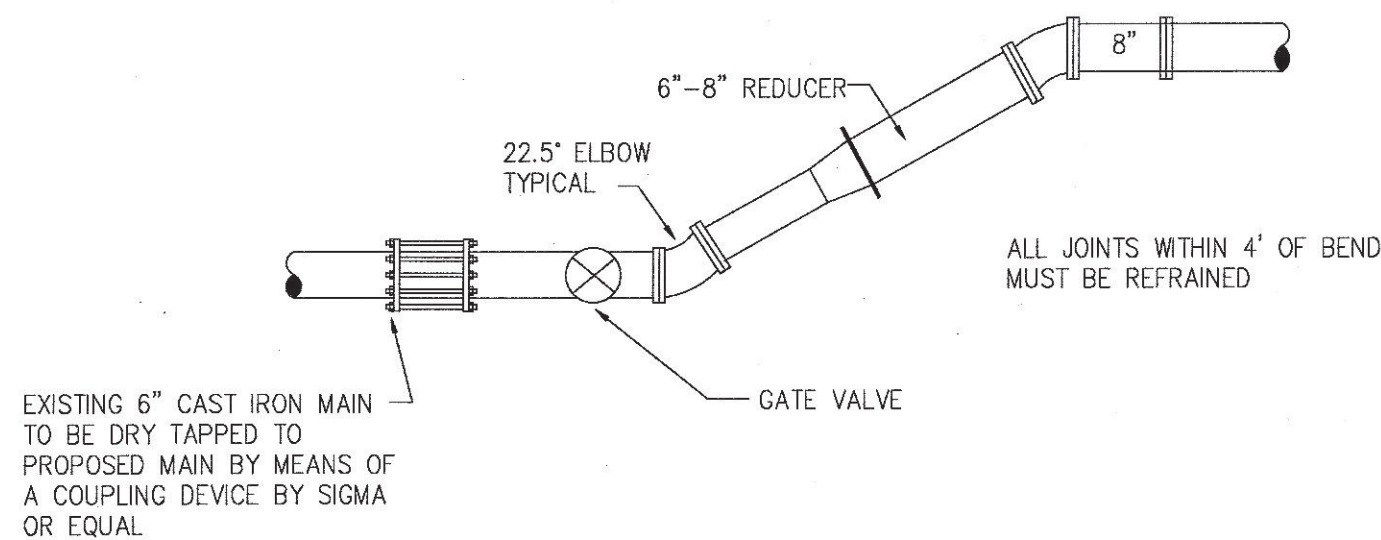


MULLER GATE VALVE
(Flanged Ends)
N.T.S.

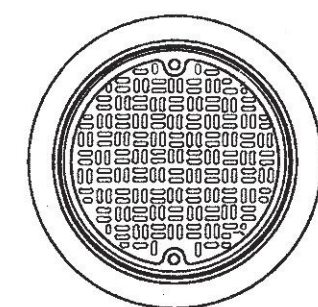


METER PIT
NOT TO SCALE

- NOTES:
1. TOWN SHALL PROVIDE WATER METER
 2. METER PIT IS TYPICALLY SUPPLIED BY THE SAME COMPANY THAT SUPPLIES THE SERVICE CONNECTION PIPING AND SHALL BE A 3' DIAMETER CORRUGATED PLASTIC PIPE SET ON END AT LEAST 4 FEET IN DEPTH WITH COVER (SEE DETAIL).
 3. ALL METER PITS ARE LOCATED WITHIN THE "RIGHT OF WAY" (R.O.W.).
 4. THERE IS NO SEPARATION REQUIREMENT FOR DRAINAGE AND DRINKING WATER MAIN. WE HAVE PROVIDED FOR A MINIMUM SEPARATION OF 18" BETWEEN THE PROPOSED WATER MAIN AND THE DRAINAGE PIPES IT CROSSES.



- GAGE NOTES:
1. PRESSURE MANUFACTURED GAGES BY WINTERS.
 2. PRESSURE GAGES, LEAD FREE, LIQUID FILLED TYPE, 0 TO 200 PSI, 4" DIA. # PF0713LF BY WINTERS OR EQUAL OR AS DEFINED BY THE TOWN.



PATTERN NUMBER 1214 5232
(TAKEN FROM SYRACUSE CASTINGS- MARYLAND MUNICIPAL STD.)

MANHOLE COVER FOR PRESSURE
REDUCING CHAMBER
N.T.S.

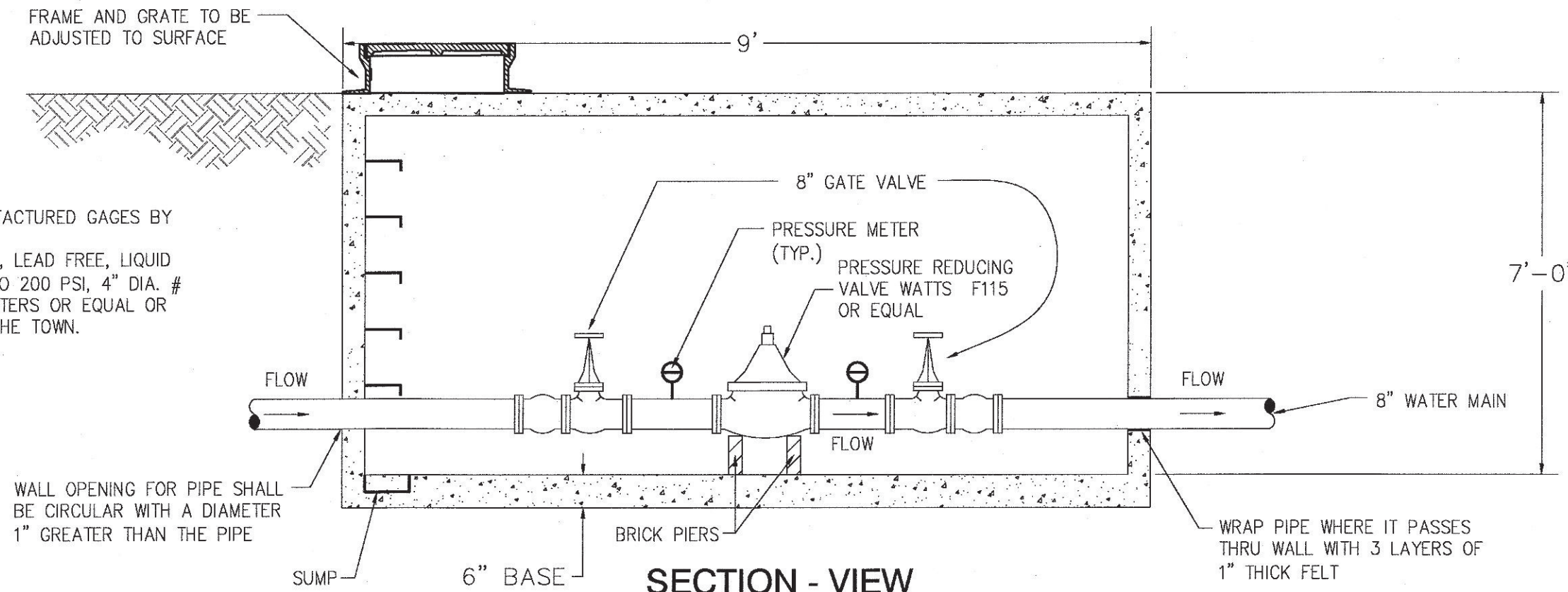
THE "PRESSURE REDUCING VALVE" SHALL BE PROVIDED WITH AN UPSTREAM AND DOWNSTREAM PRESSURE MONITOR TO ASSIST THE OPERATION SETTING TEE VALVE. A BYPASS SYSTEM MUST BE PROVIDED FOR MAINTENANCE PURPOSES. THE VALVE STRUCTURE SHALL BE BUILT IN A CONCRETE BOX WITH ENOUGH DEPTH TO PREVENT FREEZING. TO REDUCE ANY POSSIBLE CAVITATION WITHIN THE PROPOSED REDUCING VALVE, THE PRESSURE WILL NOT BE REDUCED BELOW THE PRESSURE OF 50 PSI BASED ON THE INLET PRESSURE OF 156 PSI.

THE EXISTING MAIN MUST BE TURNED OFF BEFORE CUTTING THE EXISTING PIPES AS SHOWN. THIS WILL BE A DRY TAP. ALL PRESSURE REMAINING IN THE EXISTING WATER MAIN AFTER SHUTTING DOWN MUST BE REMOVED BEFORE CUTTING BEGINS.

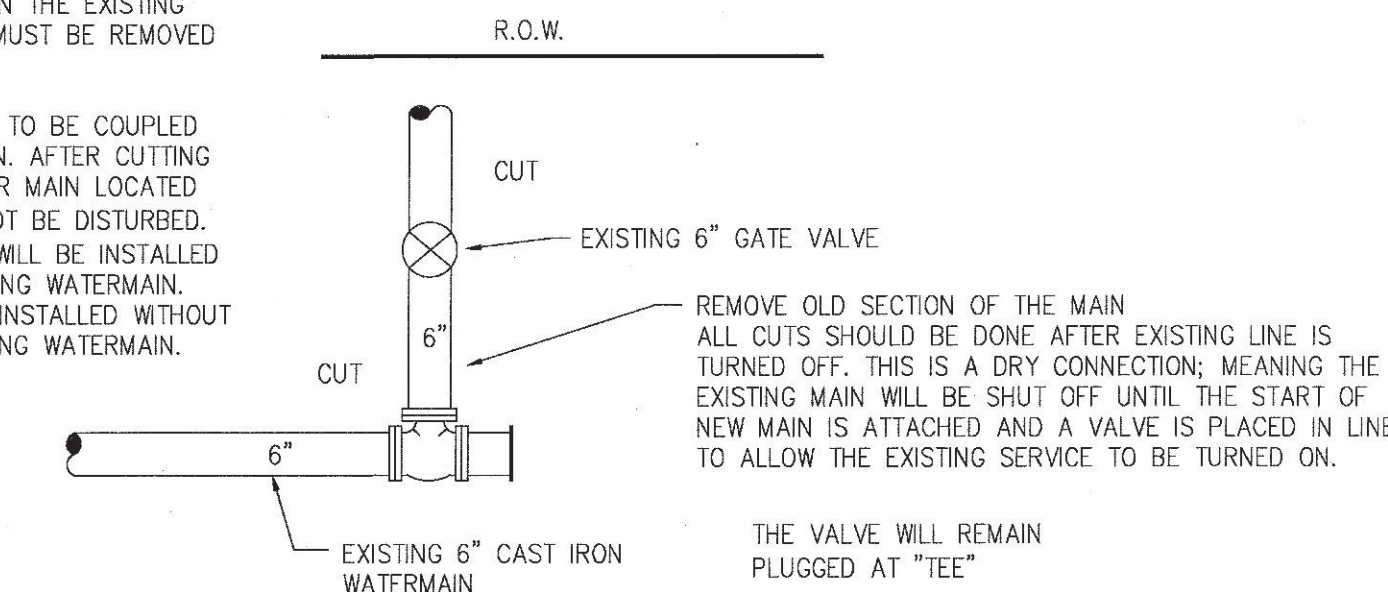
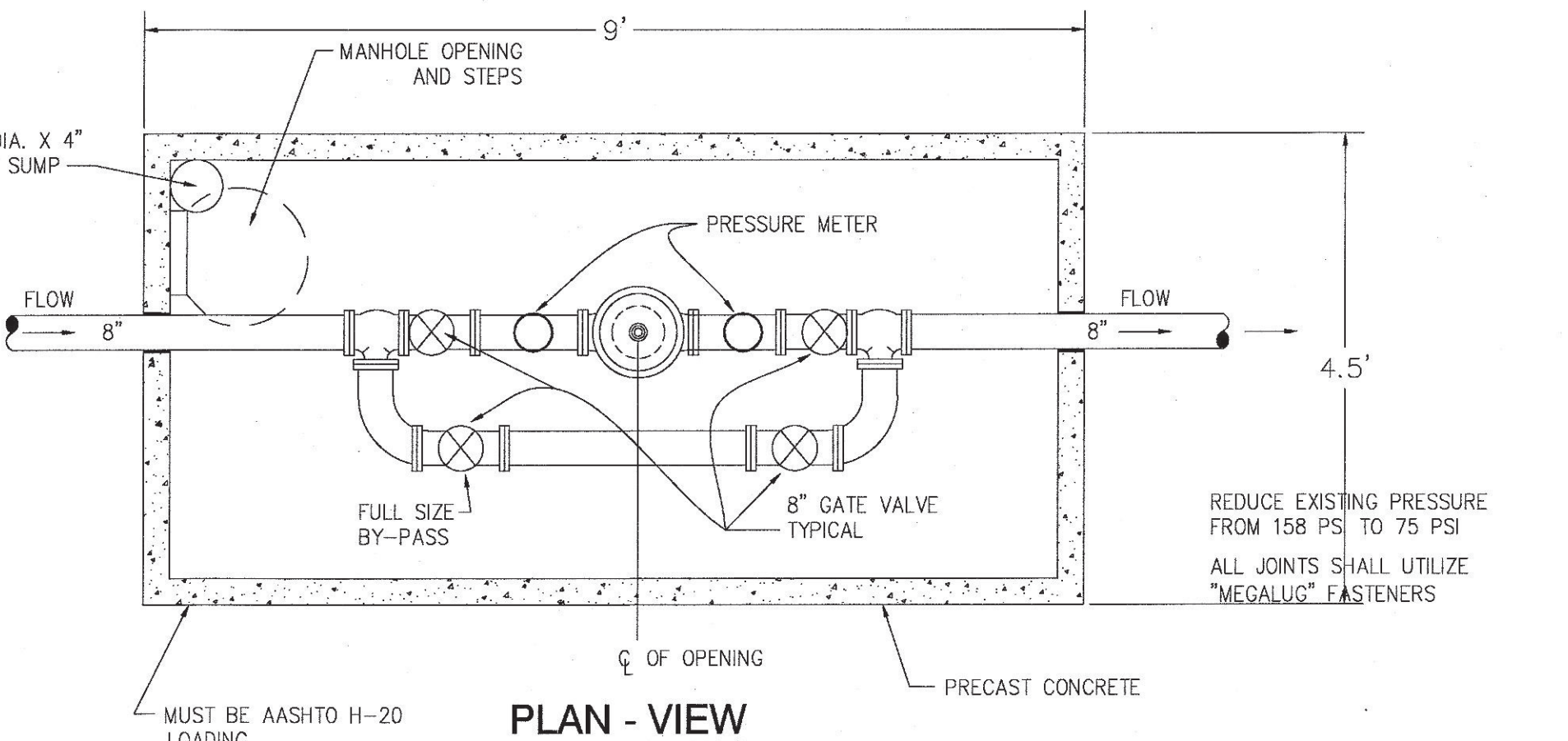
THE PROPOSED DUCTILE IRON PIPE IS TO BE COUPLED WITH EXISTING CAST IRON WATER MAIN. AFTER CUTTING AND REMOVING AS SHOWN. THE WATER MAIN LOCATED BEYOND THE "RIGHT OF WAY" CAN NOT BE DISTURBED. AFTER THE COUPLING, A (6") VALVE WILL BE INSTALLED TO ALLOW RECHARGING OF THE EXISTING WATERMAIN. THE PROPOSED WATER MAIN CAN BE INSTALLED WITHOUT FURTHER DISTURBANCE TO THE EXISTING WATERMAIN.

THE TOWN TO SUPPLY WATER METERS AT THE TIME LOTS ARE DEVELOPED. THE METER PIT IS A 3' DIAMETER, 4' DEEP CORRUGATED PLASTIC PIPE LENGTH COVER. ALL METERS AND METER PITS ARE TO BE LOCATED WITHIN THE R.O.W.

THERE IS NO REQUIREMENT BETWEEN THE WATER AND DRAINAGE THAT THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH REQUIRES FOR POSSIBLE FUTURE MAINTENANCE WE HAVE PROVIDED A MINIMUM SEPARATION OF 18".



PRESSURE REDUCING SYSTEM WITH RETURN FLOW
NOT TO SCALE



EXISTING PIPE CONFIGURATION
NOT TO SCALE

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED FEB. 9, 2015.

JOHN P. DELANO, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
KELLARD SESSIONS, P.C.
CONSULTING TOWN ENGINEERS

Owner: Parcel A
McKenna Custom Home
Inc. 343 Manville Rd.
Pleasantville, NY 10570

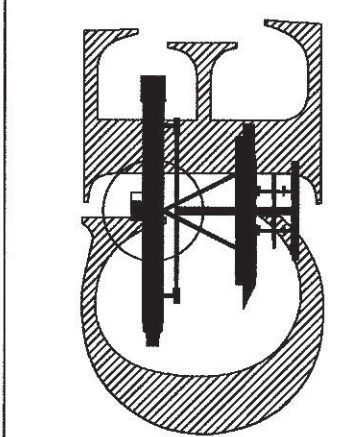
16 1759

No.	REVISIONS	DATE
1	GENERAL REVISIONS	3-19-13
2	GENERAL REVISIONS	4-5-13
3	GENERAL REVISIONS	5-20-13
4	LOT 3 SEPTIC AREA REVISED	12-4-13
5	ADDED DEEP TEST HOLES	12-10-13
6	UPDATE SECTION, BLK & LOT NO.	1-7-14
7	SIGNATURE BLOCK ADDED	2-4-14
8	GENERAL REVISIONS	2-22-16
9	GENERAL REVISIONS	3-18-16
10	GENERAL REVISIONS	4-20-16
11	GENERAL REVISIONS	6-30-16
12	GENERAL REVISIONS	8-3-16

3 LOT SUBDIVISION SITE PLAN DETAILS
Prepared for
McKenna Custom Homes Inc.
13 Hidden Oak Rd
Town of North Castle Westchester Co., N.Y.
Tax Map Sec. 07.01, Blk. 1, Lot 32
Date: 1-9-2016

CAMPBELL ENGINEERING

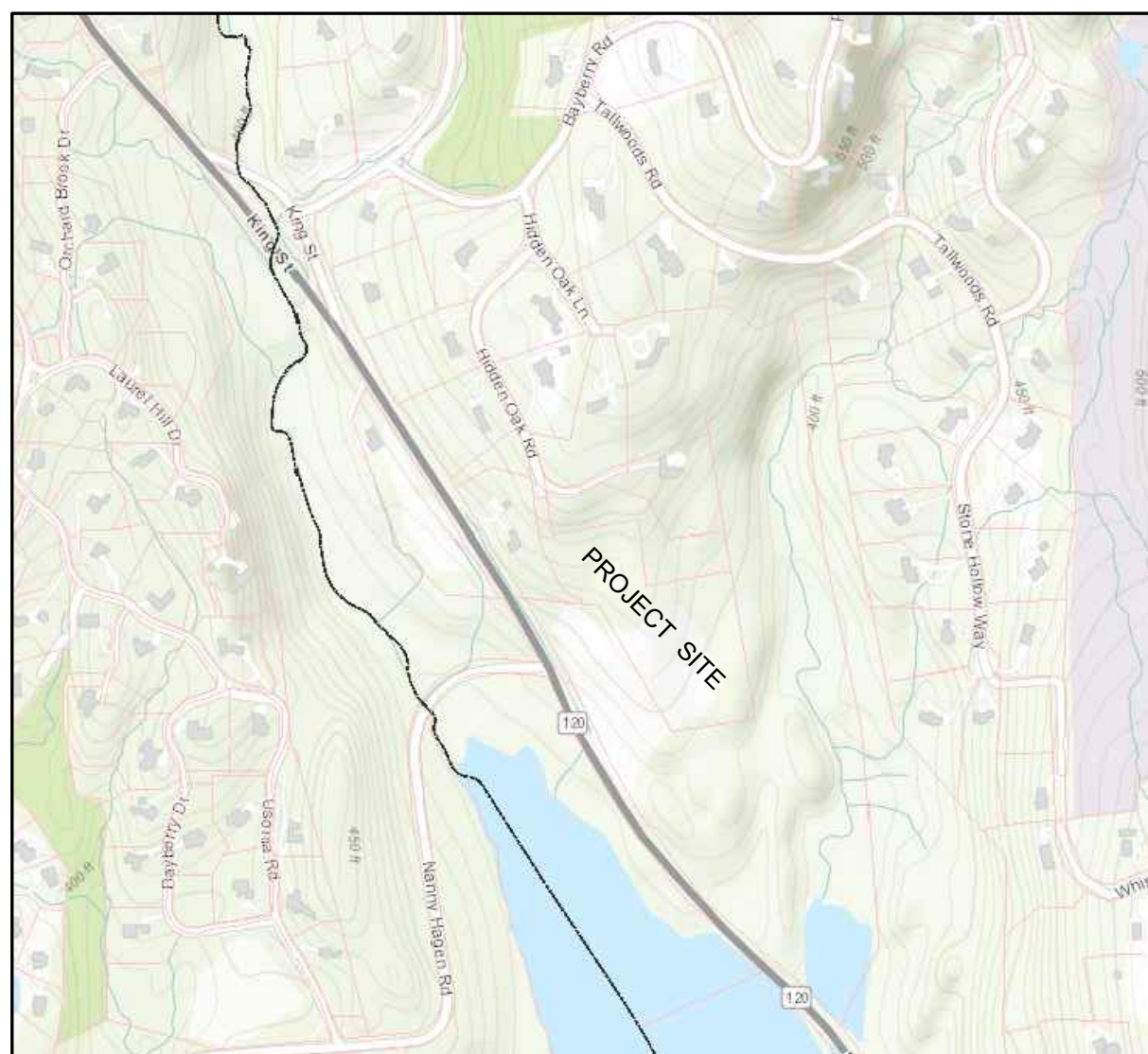
Civil Engineers
Hydrology Land Planners
Sanitary and Storm Sewers
Water Supply and Sewage Disposal
Michael H. Campbell, PE
25 Memorial Drive
P.O. Box 255
Chappaqua, New York 10514
Michael@e14engineer.com
(914)238-3555
Fax (914)238-3435



D-2

Hidden Oak Subdivision

Final Subdivision Approval Drawing Set



LOCATION MAP
Not to Scale

LIST OF DRAWINGS IN PLAN SET:

Drawings by ALP Engineering & Landscape Architecture, PLLC
(Evans Associates):

1. CS-1 Cover Sheet
2. S-1 Subdivision Layout Plan
3. S-2 Grading & Utilities Plan
4. S-3.1 PHASE 1: Erosion and Sediment Control Plan / Tree Removal Plan
5. S-3.2 PHASE 2: Erosion and Sediment Control Plan / Tree Removal Plan
6. S-4 Slopes Map
7. S-5 Landscape Plan
8. DE-1 Construction Details / Subdivision Road Profile
9. DE-2 Construction Details
10. DE-3 Subdivision Road and Driveway Profiles
11. DE-4 Erosion Control/Restoration Notes/Trees
12. DE-5 Construction Details/Maintenance Plan

Drawings by Campbell Engineering:

13. IPP-1 3 Lot Subdivision Site Plan (Septic System Design Parameters)
14. D-1 3 Lot Subdivision Site Plan Profiles & Details (Water Main Extension)
15. D-2 3 Lot Subdivision Site Plan Details (Water Main Extension)

TABLE OF LAND USE				
ZONING DATA: CONSERVATION SUBDIVISION				
ZONE: R-2A TOTAL ACREAGE / SIZE OF PROPERTY TO BE SUBDIVIDED: 7.69 ACRES				
TAX MAP: SECTION 107.01, BLOCK 1, LOT 32 OLD/FORMER SBL: SECTION 2, BLOCK 1K, LOT 10				
FIRE DISTRICT: ARMONK FIRE DISTRICT				
SCHOOL DISTRICT: BYRAM HILLS CENTRAL				
	REQUIRED	PROVIDED		
		LOT 1	LOT 2	LOT 3
GROSS LOT AREA	1 Ac.	1.864 Ac.	1.920 Ac.	2.045 Ac.
SLOPES > 25%		0	0.102 Ac.	0.084 Ac.
50% FACTOR AS PER SEC. 213-3		0	0.051 Ac.	0.042 Ac.
NET LOT AREA	1 Ac.	1.863 Ac.	1.869 Ac.	2.003 Ac.
CONTIGUOUS BUILDING AREA	20,000 S.F.	>20,000 S.F.	>20,000 S.F.	>20,000 S.F.
FRONTAGE	125 FT.	458 FT.	73 FT.	61 FT.
DEPTH	150 FT.	168 FT.	315 FT.	276 FT.
WIDTH	125 FT.	254 FT.	243 FT.	201 FT.
MIN. YARD SETBACKS:	FRONT	50 FT.	57 FT.	93 FT.
	SIDE	30 FT. ¹	103 FT. / 164 FT.	88 FT. / 32 FT.
	REAR	40 FT. / 50 FT. ²	79 FT.	193 FT.
			193 FT.	145 FT.

LOT SUMMARY			
	LOT 1	LOT 2	LOT 3
DISTURBANCE AREA	58,721 S.F. ^a	52,250 S.F.	67,810 S.F. ^b
CUT/FILL	2,122 yd ³ (CUT)	550 yd ³ (FILL)	204 yd ³ (FILL)
TOWN REGULATED TREE REMOVAL	74	59	117
TOWN REG SPECIMEN TREE REMOVAL	4	1	2
WETLAND DISTURBANCE	0	0	0
WETLAND BUFFER DISTURBANCE	0	0	0
MAX GROSS LAND COVERAGE	12,302 SF	13,009 SF	13,375 SF
MAX FLOOR AREA	10,296 SF	10,470 SF	10,296 SF
HOUSE FOOTPRINT SHOWN	4,600 SF	4,050 SF	3,600 SF
GROSS LAND COVERAGE SHOWN	9,320 SF	9,368 SF	11,044 SF

NOTES ON TABLE OF LAND USE

1. PURSUANT TO SECTION 213.25.D(4)(a) OF THE TOWN CODE, ON NORTH SIDE OF LOT 1, A 30-FOOT SIDE YARD SETBACK IS PROVIDED. LIKEWISE, ON THE NORTHERN SIDE LOT LINE OF LOT 2, A 30-FOOT SETBACK IS PROVIDED.
2. PURSUANT TO SECTION 213.25.D(4)(a) OF THE TOWN CODE, ON EASTERN REAR LOT LINE OF LOT 1, A 50-FOOT REAR YARD SETBACK IS PROVIDED. IN ADDITION, ON THE EASTERN REAR LOT LINE ON LOT 2, A 50-FOOT SETBACK IS PROVIDED.
3. SECTION, BLOCK AND LOT NUMBER FOR NEW LOTS:
LOT 1, SECTION 107.01 BLOCK 1 LOT 32.1 (107.01-1-32.1)
LOT 2, SECTION 107.01 BLOCK 1 LOT 32.2 (107.01-1-32.2)
LOT 3, SECTION 107.01 BLOCK 1 LOT 32.3 (107.01-1-32.3)

NOTES ON LOT SUMMARY

- a. INCLUDES DISTURBANCE FOR CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES FOR THE SUBDIVISION ROAD ON LANDS TO BE IN THE OWNERSHIP OF LOT #1 AND LOCATED ON THE WEST SIDE OF THE SUBDIVISION ROAD.
- b. INCLUDES DISTURBANCE FOR CONSTRUCTION OF THE STORMWATER MANAGEMENT BASIN FOR THE SUBDIVISION AT THE SOUTH END OF LOT #3, THE STORMWATER MANAGEMENT FACILITY SWMF-1.2 AT THE SOUTH END OF THE SUBDIVISION ROAD, AND THE RAIN GARDEN ON LOT #3.

ADDITIONAL NOTES:

1. McKenna Custom Homes intends to comply with the Town construction standards and specifications as well as with the requirements of the Planning Board resolution of approval.

OWNER:
McKenna Custom Homes, Inc.
433 Manville Road
Pleasantville, NY 10570
Tel: (914) 769-1869

CONSULTANTS:

CAMPBELL ENGINEERING, LLP
160 King Street
P.O. Box 255
Chappaqua, New York 10514
Tel: (914) 238-3555
Fax: (914) 238-3435

WELSH Engineering & Land Surveying, P.C.
12 Campwoods Grounds
Ossining, N.Y. 10562

Tel: (914) 773-1701

ISSUED:

Submission to Town and NYCDEP	07/24/2015
Submission to Town and NYCDEP	10/15/2015
Submission to Town and NYCDEP	12/15/2015
Submission to Town and NYCDEP	03/01/2016
Submission to Town for Final Subdivision Plan approval	06/30/2016
Submission to Town for Prelim & Final Subdivision Plan appl	10/07/2016
Submission to Town for Prelim & Final Subdivision Plan appl	03/20/2020

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

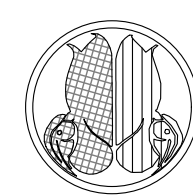
SEAL:



PROJECT NAME:
HIDDEN OAK SUBDIVISION
Hidden Oak Road
Town of North Castle, New York

ENVIRONMENTAL CONSULTANT:
EVANS ASSOCIATES
ENVIRONMENTAL CONSULTING, INC.

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC



162 Falls Road, Bethany, Connecticut 06524
Tel: (203) 393-6690

P.O. Box 843, Ridgefield, CT 06877
Direct Tel: (875) 215-5343 Cell: (203) 710-0587

Drawing title:

Cover Sheet

Date: July 15, 2014

Dwn. by: alp

ID: _C09-2015

CS-1

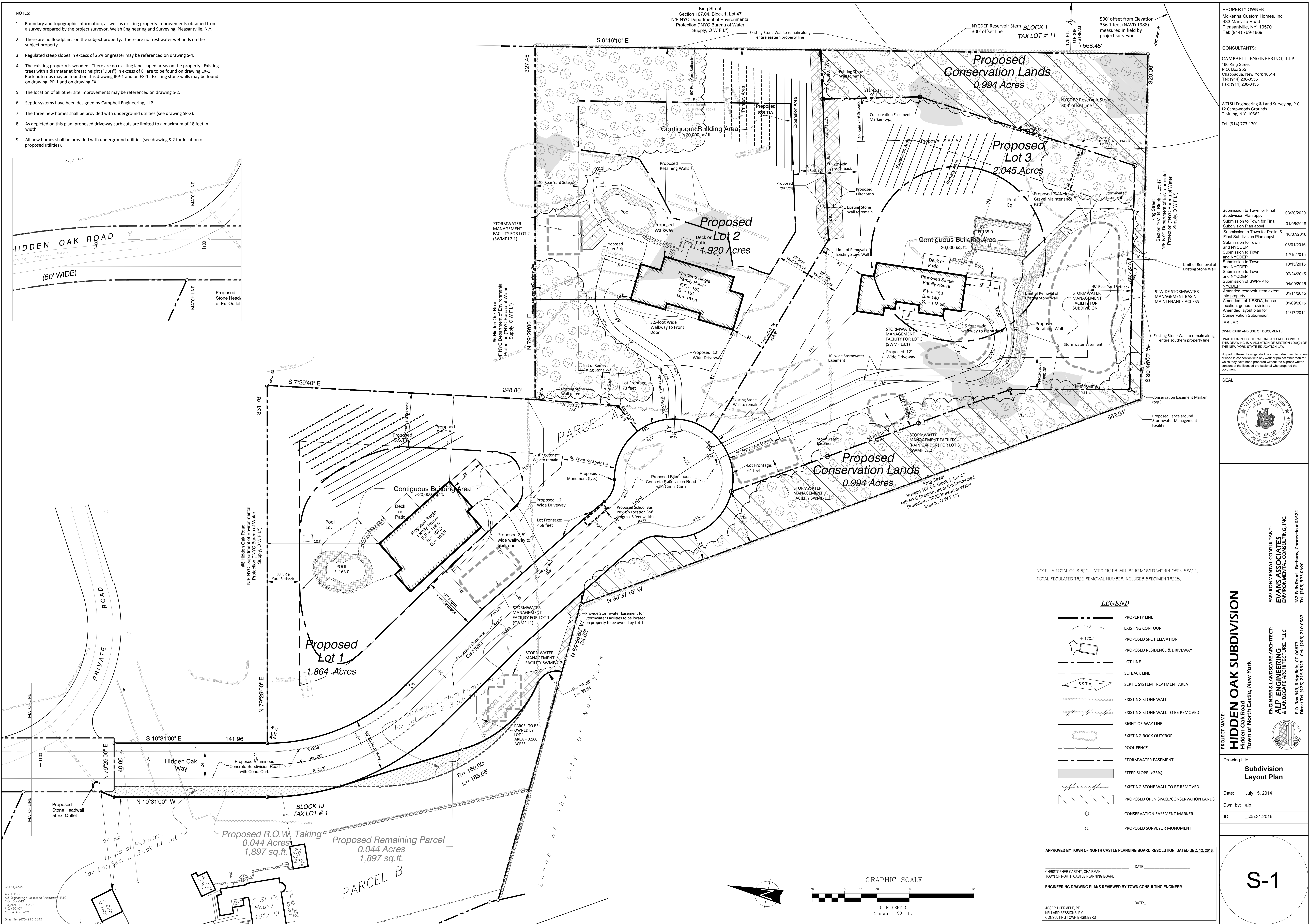
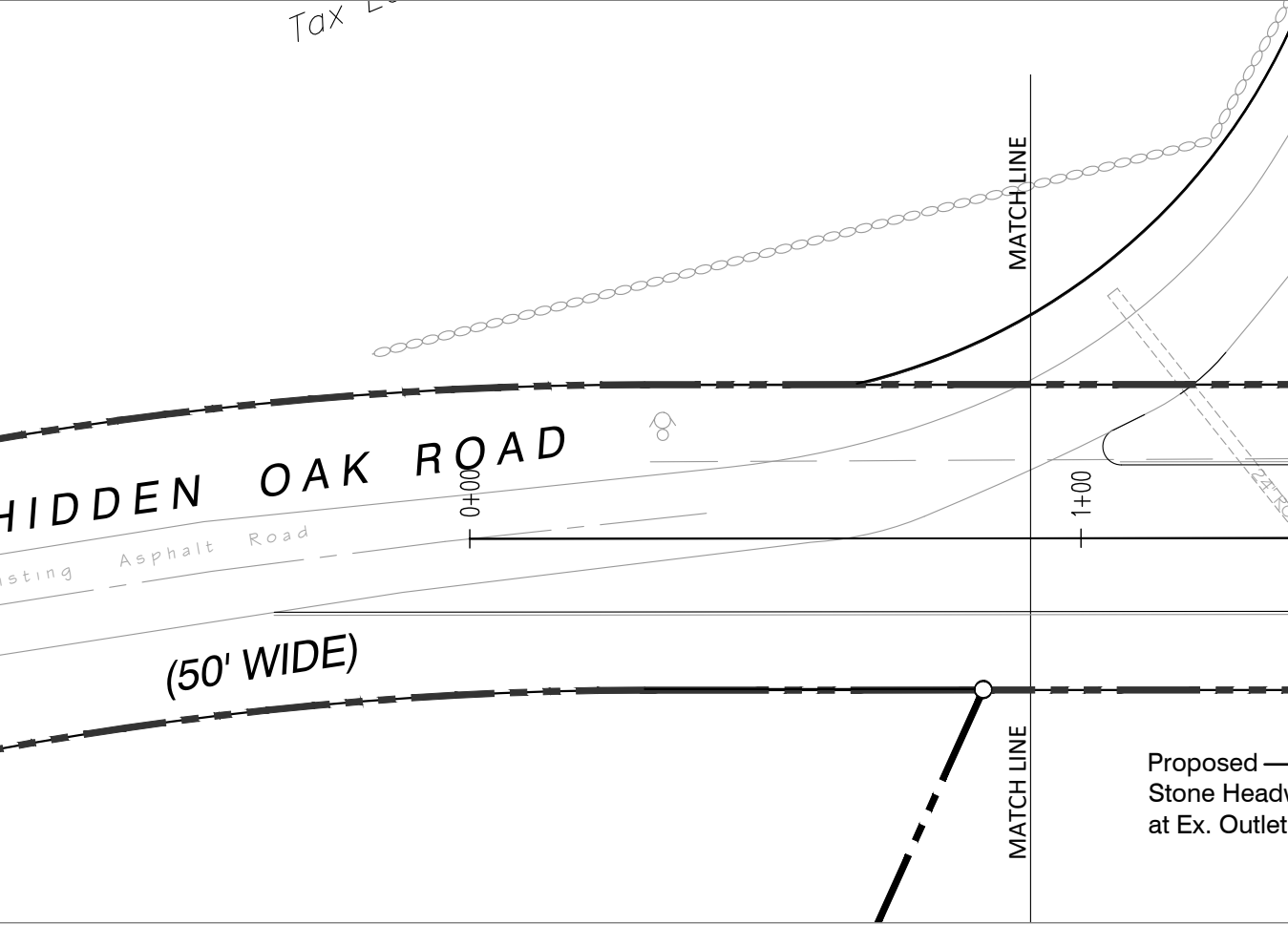
APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED DEC. 12, 2016.

CHRISTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
KELLARD SESSIONS, P.C.
CONSULTING TOWN ENGINEERS

- NOTES:
- Boundary and topographic information, as well as existing property improvements obtained from a survey prepared by the project surveyor, Welsh Engineering and Surveying, Pleasantville, N.Y.
 - There are no floodplains on the subject property. There are no freshwater wetlands on the subject property.
 - Regulated steep slopes in excess of 25% or greater may be referenced on drawing S-4.
 - The existing property is wooded. There are no existing landscaped areas on the property. Existing trees with a diameter at breast height ("DBH") in excess of 8" are to be found on drawing EX-1. Rock outcrops may be found on this drawing IPP-1 and on EX-1. Existing stone walls may be found on drawing IPP-1 and on drawing EX-1.
 - The location of all other site improvements may be referenced on drawing S-2.
 - Septic systems have been designed by Campbell Engineering, LLP.
 - The three new homes shall be provided with underground utilities (see drawing SP-2).
 - As depicted on this plan, proposed driveway curb cuts are limited to a maximum of 18 feet in width.
 - All new homes shall be provided with underground utilities (see drawing S-2 for location of proposed utilities).



PROPERTY OWNER:
McKenna Custom Homes, Inc.
433 Marville Road
Pleasantville, NY 10570
Tel: (914) 769-1869

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160 King Street
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Fax: (914) 238-3435

WELSH Engineering & Land Surveying, P.C.
12 Campwoods Grounds
Ossining, N.Y. 10562
Tel: (914) 773-1701

Submission to Town for Final Subdivision Plan appl. 03/20/2020
Submission to Town for Final Subdivision Plan appl. 01/05/2018
Submission to Town for Prelim & Final Subdivision Plan appl. 10/07/2016
Submission to Town and NYCEP 03/01/2016
Submission to Town and NYCEP 12/15/2015
Submission to Town and NYCEP 10/15/2015
Submission to NYCEP 07/24/2015
Submission of SWPPP to NYCEP 04/09/2015
Amended reservoir stem extent into property 01/14/2015
Amended Lot 1 SSDA, house location, general revisions 01/09/2015
Amended layout plan for Conservation Subdivision 11/17/2014

ISSUED:
OWNERSHIP AND USE OF DOCUMENTS
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 720(2) OF THE NEW YORK STATE EDUCATION LAW.
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SEAL:



PROJECT NAME:
HIDDEN OAK SUBDIVISION
Hidden Oak Road
Town of North Castle, New York

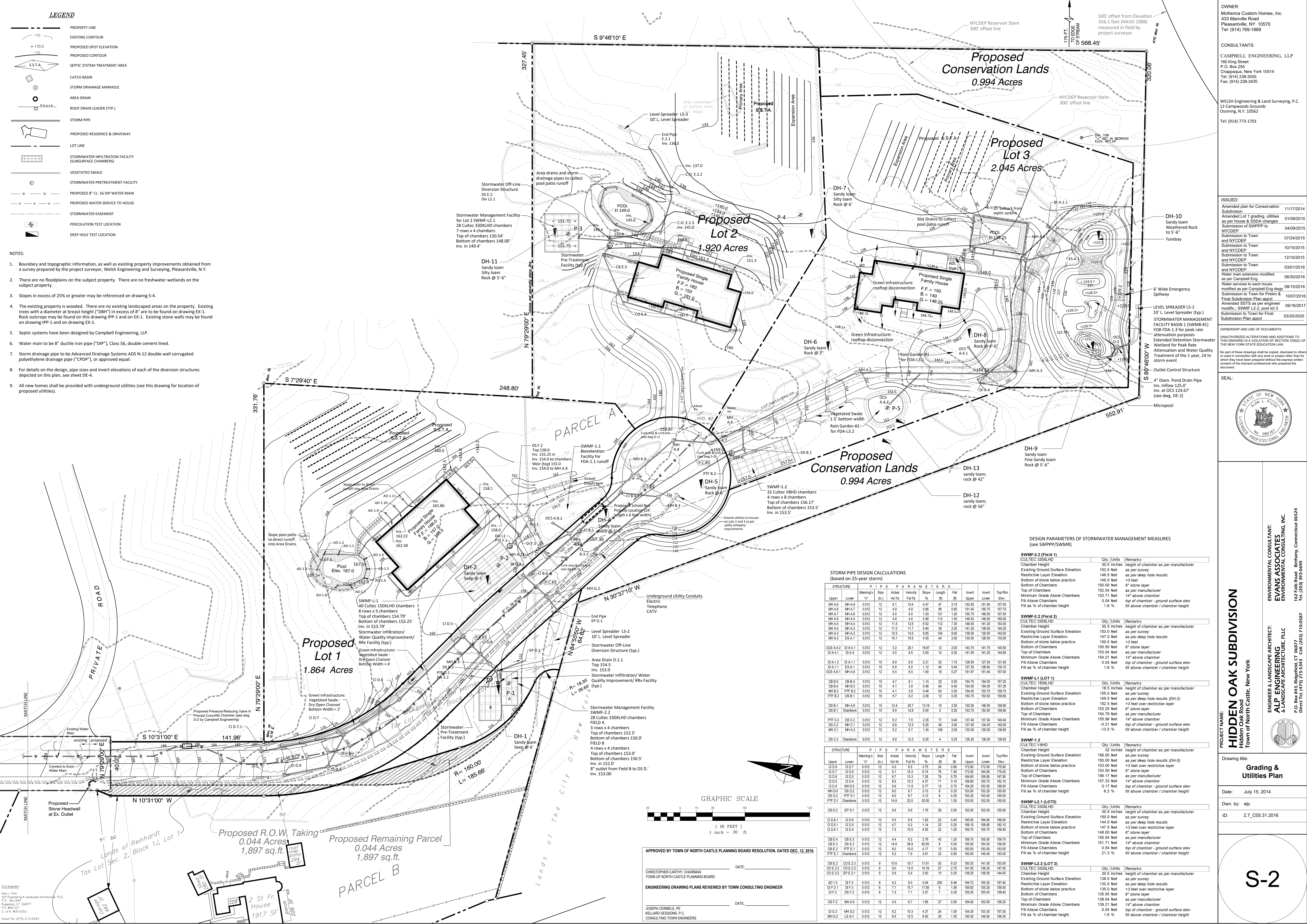
ENVIRONMENTAL CONSULTANT:
EVANS ASSOCIATES
ENVIRONMENTAL CONSULTING, INC.
162 Falls Road, Bethany, Connecticut 06524
Tel: (203) 393-0690

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843, Ridgefield, CT 06877
Direct Tel: (475) 215-5343 Cell: (203) 710-0587

Drawing title:
Subdivision Layout Plan

Date: July 15, 2014
Dwn. by: alp
ID: _c05.31.2016

S-1



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- SEPTIC SYSTEM TREATMENT AREA
- CATCH BASIN
- STORM DRAINAGE MANHOLE
- AREA DRAIN
- ROOF DRAIN LEADER (TYP.)
- STORM PIPE
- PROPOSED RESIDENCE & DRIVEWAY
- LOT LINE
- STORMWATER INFILTRATION FACILITY (SUBSURFACE CHAMBERS)
- VEGETATED SWALE
- STORMWATER PRETREATMENT FACILITY
- PROPOSED 8" CL. 56 DIP WATER MAIN
- PROPOSED WATER SERVICE TO HOUSE
- STORMWATER EASEMENT
- PERCOLATION TEST LOCATION
- DEEP HOLE TEST LOCATION

- NOTES:**
- Boundary and topographic information, as well as existing property improvements obtained from a survey prepared by the project surveyor, Welsh Engineering and Surveying, Pleasantville, N.Y.
 - There are no floodplains on the subject property. There are no freshwater wetlands on the subject property.
 - Slopes in excess of 25% or greater may be referenced on drawing S-4.
 - The existing property is wooded. There are no existing landscaped areas on the property. Existing trees with a diameter at breast height ("DBH") in excess of 8" are to be found on drawing EX-1. Rock outcrops may be found on this drawing IPP-1 and on EX-1. Existing stone walls may be found on drawing IPP-1 and on drawing EX-1.
 - Septic systems have been designed by Campbell Engineering, LLP.
 - Water main to be 8" ductile iron pipe ("DIP"), Class 56, double cement lined.
 - Storm drainage pipe to be Advanced Drainage Systems ADS N-12 double wall corrugated polyethylene drainage pipe ("CPDP"), or approved equal.
 - For details on the design, pipe sizes and invert elevations of each of the diversion structures depicted on this plan, see sheet DE-4.
 - All new homes shall be provided with underground utilities (see this drawing for location of proposed utilities).

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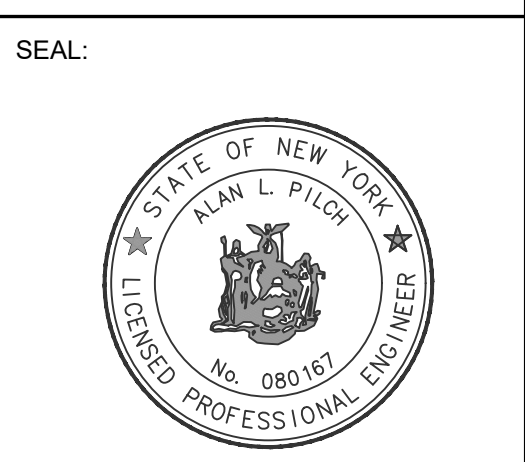
ISSUED:

Amended plan for Conservation Subdivision	11/17/2014
Amended Lot 1 grading, utilities as per house & SSDA changes	01/09/2015
Submission of SWPPP to NYCDP	04/09/2015
Submission to Town and NYCDP	07/24/2015
Submission to Town and NYCDP	10/15/2015
Submission to Town and NYCDP	12/01/2015
Submission to Town and NYCDP	03/01/2016
Water main extension modified as per Campbell Eng	06/30/2016
Water services to each house modified as per Campbell Eng dwgs	08/15/2016
Submission to Town for Prelim & Final Subdivision Plan app	10/07/2016
Amended SSTS as per engineer	06/16/2017
Submission to Town for Final Subdivision Plan app	03/20/2020

OWNERSHIP AND USE OF DOCUMENTS

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PROJECT NAME:
HIDDEN OAK SUBDIVISION
Hidden Oak Road
Town of North Castle, New York

ENVIRONMENTAL CONSULTANT:
EVANS ASSOCIATES, INC.
ENVIRONMENTAL CONSULTING, INC.
167 Falls Road, Bethany, Connecticut 06524
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ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843, Ridgefield, CT 06877
Direct Tel: (478) 215-5343 Cell: (203) 710-0587

Drawing title:
Grading & Utilities Plan

Date: July 15, 2014

Dwn. by: alp

ID: 2.7_C05.31.2016

S-2

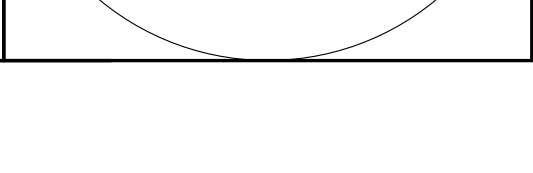
STORM PIPE DESIGN CALCULATIONS (based on 25-year storm)													height of chamber as per manufacturer 152.5 feet as per survey	Remarks	
STRUCTURE		P I P E		P A R A M E T E R S											
Upper	Lower	Manning's "n"	Size (in)	Actual Vel (ft/s)	Actual Velocity (ft/s)	Actual Slope (%)	Length (ft)	Loss (ft)	Invert (ft)	Invert Lower (ft)	Top/Btm				
MA#8	MA#4	0.012	12	4.8	4.8	1.04	4.47	47	2.10	153.50	151.40	157.00			
MA#4	MA#1	0.012	12	4.8	4.8	1.04	4.47	68	0.65	150.85	150.20	156.50			
MA#7	MA#6	0.012	12	5.0	5.0	1.03	1.21	1.25	167.00	148.50	147.50				
MA#6	MA#5	0.012	12	4.6	4.6	0.88	113	1.00	146.50	145.50	160.00				
MA#5	MA#4	0.012	12	4.6	4.6	0.88	113	1.00	146.50	145.50	160.00				
MA#4	MA#3	0.012	10	11.0	11.7	5.64	3.9	2.20	141.20	136.00	144.20				
MA#3	MA#2	0.012	12	12.5	14.5	8.65	104	9.00	139.00	130.00	142.00				
MA#2	ESA#1	0.012	12	15.0	15.0	10.0	46	2.00	130.00	125.00	140.00				
DCS#2	DA#4.1	0.012	12	5.2	26.1	18.67	12	2.00	143.75	141.75	145.25				
DA#4.1	DA#4	0.012	12	4.5	8.5	3.00	1.30	0.30	141.44	141.14	144.00				
DA#12	DA#1.1	0.012	18	8.9	8.5	2.25	5.2	1.15	128.80	127.35	131.00				
DA#1	ESA#1	0.012	15	6.8	8.0	1.12	4.00	1.12	126.75	126.60	130.10				
CCS#8.1	MA#8	0.012	12	5.4	6.0	1.50	1.18	0.27	151.61	151.00	157.00				
Minimum Grade Above Chambers Fill Above Chambers Fill as % of chamber height														154.21 feet 0.04 feet 1.6 %	
SWMF-1.1 (LOT 1)															
CB#8.1	CB#4	0.012	15	4.7	6.1	1.14	22	0.25	154.78	154.50	157.25				
CB#4	MB#9.1	0.012	15	4.1	3.9	0.48	8.4	0.45	154.04	154.04	157.25				
MB#9.1	MB#9	0.012	15	4.1	3.9	0.48	8.4	0.45	154.04	154.04	157.25				
PT#2	CB#2	0.012	15	6.7	8.2	2.06	12	0.25	153.75	153.50	156.80				
Existing Ground Surface Elevation Restrictive Layer Elevation Bottom of stone below practice Bottom of Chambers Minimum Grade Above Chambers Fill Above Chambers Fill as % of chamber height														156.00 feet 149.50 feet 152.5 feet 153.25 feet 154.79 feet 155.96 feet -0.21 feet -13.5 %	
DS#1	MA#8	0.012	15	12.4	20.7	13.18	19	2.50	163.20	149.50	159.80				
DS#1	Chambers	0.012	15	8.6	12.8	5.00	5	0.25	163.75	163.50	159.80				
Top of Chambers Minimum Grade Above Chambers Fill Above Chambers Fill as % of chamber height														154.79 feet 155.96 feet -0.21 feet -13.5 %	
PT#3	DCS#2	0.012	12	6.2	7.5	2.35	17	0.40	137.40	137.00	140.40				
PT#3	MC#1	0.012	12	8.8	12.3	6.25	48	3.00	137.00	134.00	140.00				
MC#1	MA#2	0.012	12	5.2	5.7	1.34	149	2.00	132.00	130.00	136.50				
Bottom of Chambers Minimum Grade Above Chambers Fill Above Chambers Fill as % of chamber height														153.25 feet 154.79 feet 155.96 feet -0.21 feet -13.5 %	
DCS#2	Chambers	0.012	12	8.8	12.3	6.25	4	0.25	138.25	138.00	136.50				
SWMF-1.2															
CULTREC V&HD		Qty	Units	Remarks											
Chamber Height		32	inches	height of chamber as per manufacturer											
Existing Ground Surface Elevation		156.00	feet	as per survey											
Restrictive Layer Elevation		150.00	feet	as per deep hole results (DH-5)											
Bottom of stone below practice		153.80	feet	+3 feet over restrictive layer											
Bottom of Chambers		148.00	feet	6" stone layer											
Top of Chambers		150.54	feet	as per manufacturer											
Minimum Grade Above Chambers		151.71	feet	14" above chamber											
Fill Above Chambers		0.54	feet	top of chamber - ground surface elev											
Fill as % of chamber height		6.2	%	fill above chamber / chamber height											
SWMF-1.2 (LOT2)															
CULTREC 330XLHD		Qty	Units	Remarks											
Chamber Height		30.5	inches	height of chamber as per manufacturer											
Existing Ground Surface Elevation		150.0	feet	as per survey											
Restrictive Layer Elevation		147.5	feet	as per deep hole results											
Bottom of stone below practice		148.00	feet	+3 feet over restrictive layer											
Bottom of Chambers		148.00	feet	6" stone layer											
Top of Chambers		150.54	feet	as per manufacturer											
Minimum Grade Above Chambers		151.71	feet	14" above chamber											
Fill Above Chambers		0.54	feet	top of chamber - ground surface elev											
Fill as % of chamber height		21.3	%	fill above chamber / chamber height											
SWMF-1.2 (LOT2)															
CULTREC 330XLHD		Qty	Units	Remarks											
Chamber Height		30.5	inches	height of chamber as per manufacturer											
Existing Ground Surface Elevation		138.0	feet	as per survey											
Restrictive Layer Elevation		132.0	feet	+3 feet over deep hole results											
Bottom of stone below practice		135.0	feet	+3 feet over restrictive layer											
Bottom of Chambers		135.50	feet	6" stone layer											
Top of Chambers		138.04	feet	as per manufacturer											
Minimum Grade Above Chambers		139.21	feet	14" above chamber											
Fill Above Chambers		0.04	feet	top of chamber - ground surface elev											
Fill as % of chamber height		1.6	%	fill above chamber / chamber height											

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED DEC. 12, 2016.

CHRISTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, P.E.
KELLARD SESSIONS, P.C.
CONSULTING TOWN ENGINEERS





PROPERTY LINE

EXISTING CONTOUR

PROPOSED SPOT ELEVATION

+170.5

+170.0

PROPOSED DECIDUOUS TREE

+170.0

PROPOSED CONIFEROUS TREE

+170.0

PROPOSED SHRUB

+170.0

PROPOSED HERBACEOUS PLANTING

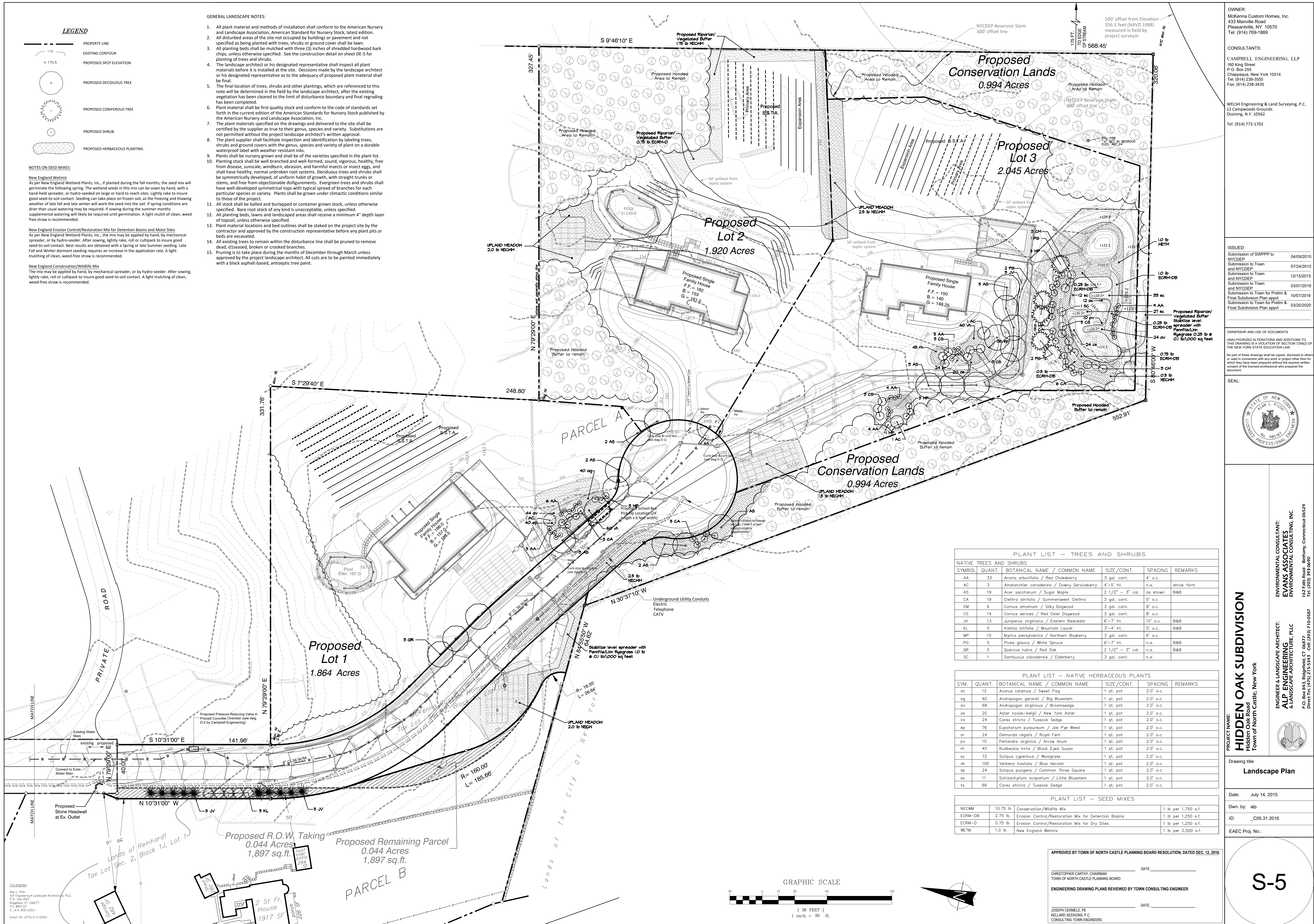
+170.0

New England Wetmix
As per New England Wetland Plants, Inc., if planted during the fall months, the seed mix will require the following: The wetland seeds in this mix can be sown by hand, with a hand-held spreader, or hydro-seeded on large or hard to reach sites. Lightly rake to insure good seed-to-soil contact. Seeding can take place on frozen soil, as the freezing and thawing of water and late winter will work the seed into the soil. If spring conditions are not ideal, a light mulch of straw or hay will be required. If sowing during the summer months, supplemental watering will likely be required until germination. A light mulch of clean, weed-free straw is recommended.

New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites
As per New England Wetland Plants, Inc., the mix may be applied by hand, by mechanical spreader, or by hydro-seeder. After sowing, lightly rake, roll or cultipack to insure good seed-to-soil contact. Best results are obtained with a Spring or late Summer seeding. Late fall or winter seeding may require supplemental watering in the application rate. A light mulching of clean, weed-free straw is recommended.

lightly rake, roll or cultipack to insure good seed-to-soil contact. A light mulching of clean, weed-free straw is recommended.

1. All plant material and methods of installation shall conform to the American Nursery and Landscape Association, American Standard for Nursery Stock, latest edition.
2. All disturbed areas of the site not occupied by buildings or pavement and not certified by the project landscape architect shall be planted with shrubs.
3. All planting beds shall be mulched with three (3) inches of shredded hardwood bark chips, unless otherwise specified. See the construction detail on sheet DE-5 for planting of trees and shrubs.
4. The project's designated representative shall inspect all plant materials before it is installed at the site. Decisions made by the landscape architect or his designated representative as to the adequacy of proposed plant material shall be final.
5. The location of trees, shrubs and other plantings, which are referenced to this note will be determined in the field by the landscape architect, after the existing vegetation has been cleared to the limit of disturbance boundary and final grading has been completed.
6. The project shall be first quality stock and conform to the code of standards set forth in the current edition of the American Standards for Nursery Stock published by the American Nursery and Landscape Association, Inc.
7. The plant materials specified on the drawings and delivered to the site shall be certified by the nursery as first quality stock and variety. Substitutions are not permitted without the project landscape architect's written approval.
8. The project supplier shall facilitate inspection and identification by labeling trees, shrubs and ground covers with the genus, species and variety of plant on a durable material, such as aluminum or plastic.
9. Plants shall be nursery grown and shall be of the varieties specified in the plant list.
10. Planting stock shall be well branched and well-formed, sound, vigorous, healthy, free from disease, sunscald, windburn, abrasion, and harmful insects or insect eggs, and free from root rot, neoplasms, and other defects. All trees and shrubs shall be symmetrically developed, of uniform habit of growth, with straight trunks or stems, and free from objectionable disfigurements. Evergreen trees and shrubs shall have well-developed symmetrical tops with typical spread of branches for each species and variety of plant. Plants shall be grown under climatic conditions similar to those of the project.
11. All stock shall be balled and burlapped or container grown stock, unless otherwise specified. Bare root stock of any kind is unacceptable, unless specified.
12. Planting beds, lawn areas and other areas shall receive a minimum 4" depth layer of topsoil, unless otherwise specified.
13. Plant material locations and bed outlines shall be staked on the project site by the contractor and approved by the construction representative before any plant pits or beds are excavated.
14. All existing trees to remain within the disturbance line shall be pruned to remove dead, diseased, broken or crooked branches.
15. Pruning is to be done prior to the start of the planting in December through March unless otherwise specified by the project landscape architect. All cuts are to be painted immediately with a black asphalt-based, antiseptic tree paint.



<p> $\frac{1}{2}$ </p>	<p> $\frac{1}{2}$ </p>
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ISSUED:	
Submission of SWPPP to NYCDEP	04/09/2015
Submission to Town and NYCDEP	07/24/2015
Submission to Town and NYCDEP	12/15/2015
Submission to Town and NYCDEP	03/01/2016
Submission to Town for Prelim & Final Subdivision Plan apv'l	10/07/2016
Submission to Town for Prelim & Final Subdivision Plan apv'l	03/20/2020

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO
THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF
THE NEW YORK STATE EDUCATION LAW.

SEAL



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ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC

P.O. Box 843, Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell: (203) 710-

PROJECT NAME:
HIDDEN OAK
Hidden Oak Ranch
Town of Northglenn

Drawing title:

Landscape Plan

Date: July 14, 2015

Dwn. by: alp

ID: C05.31.2010

FAEC Proj. No.

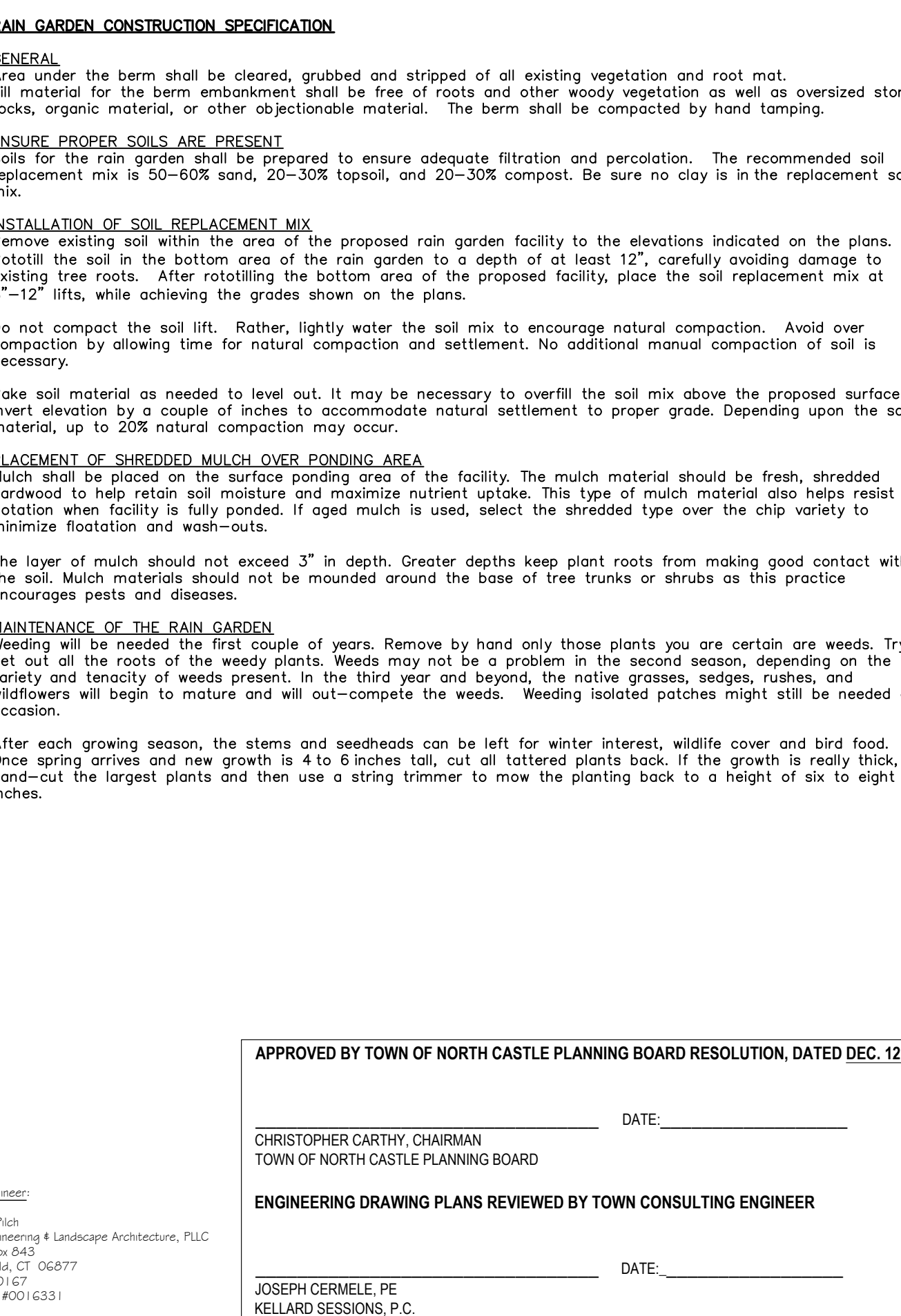
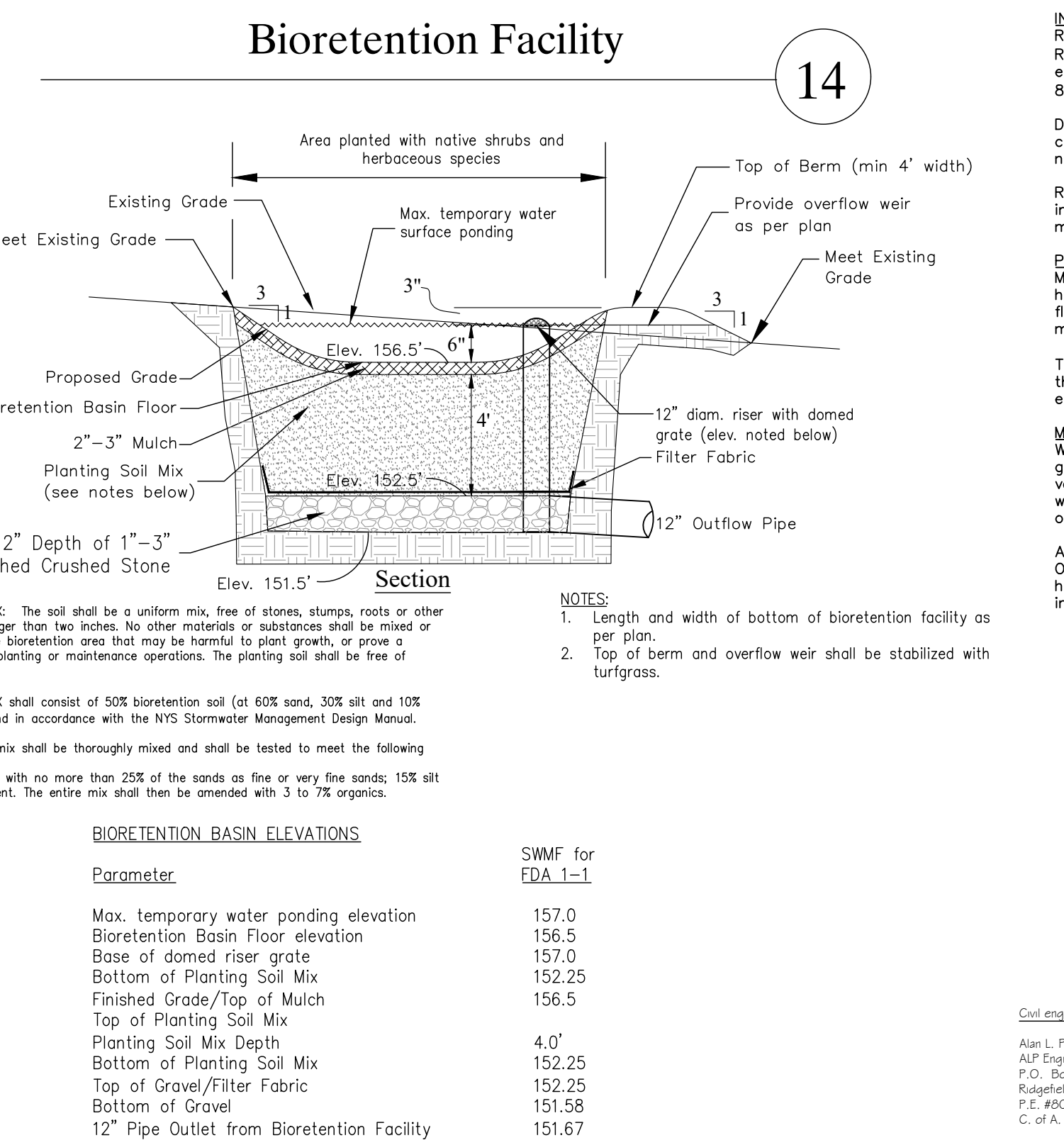
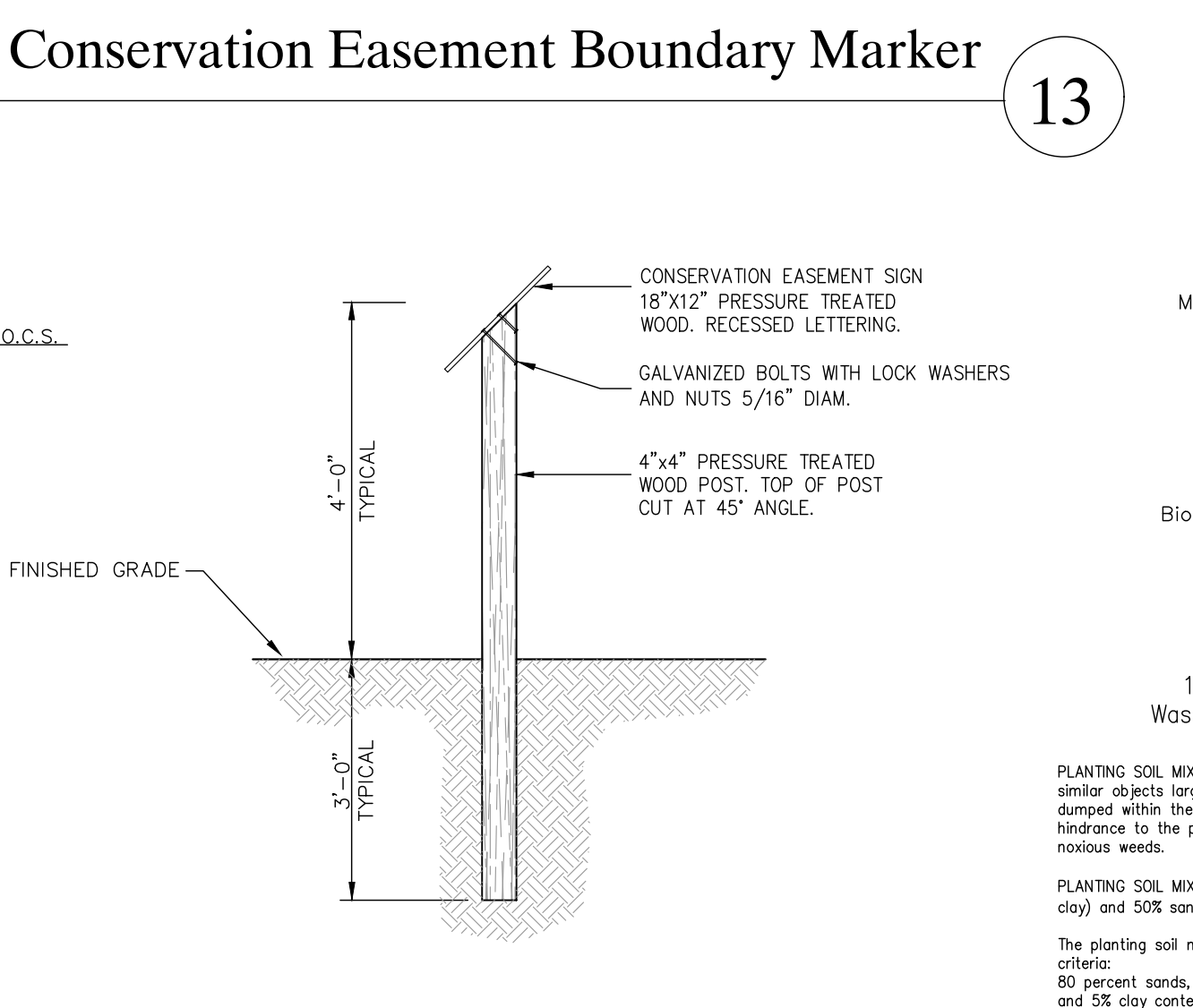
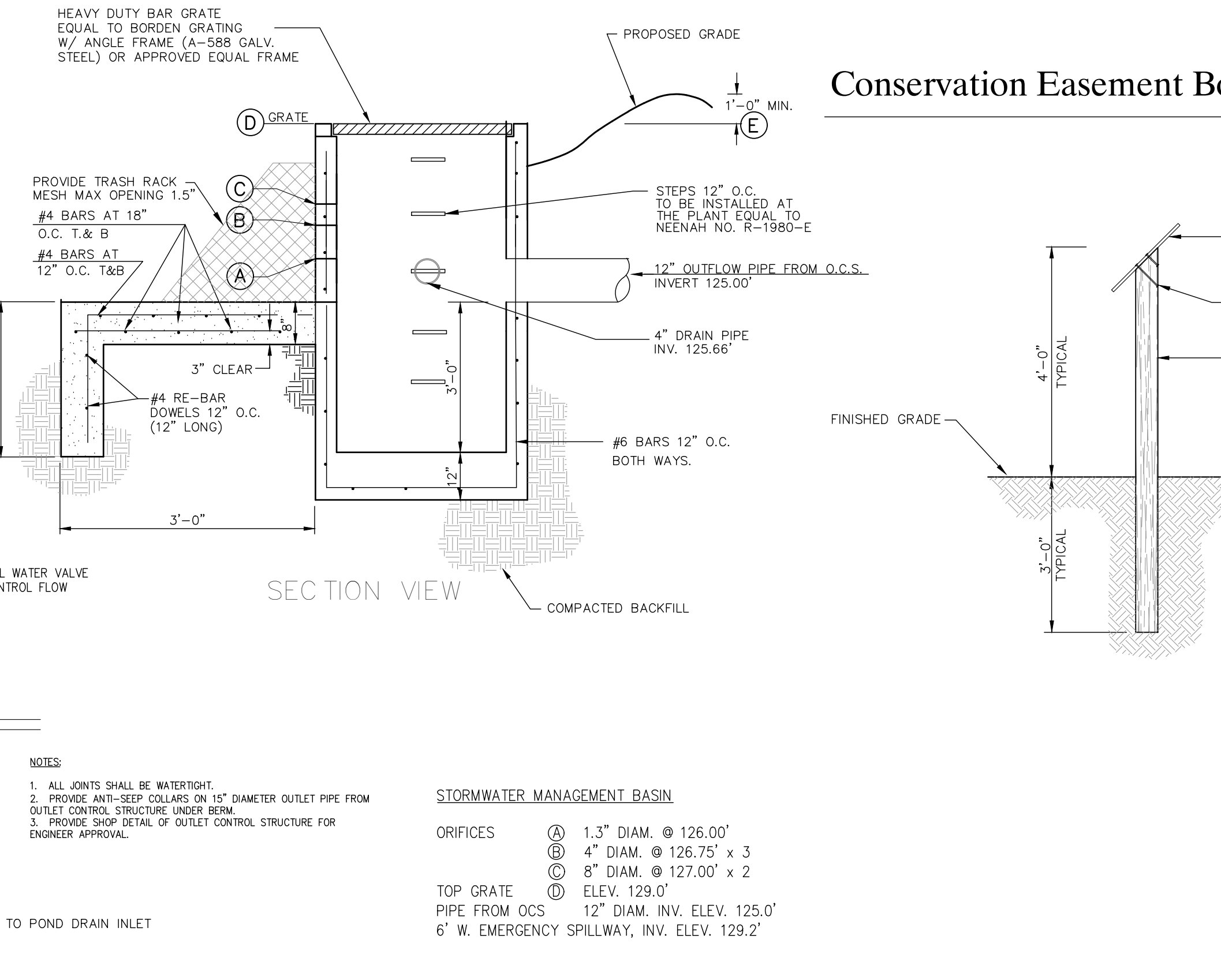
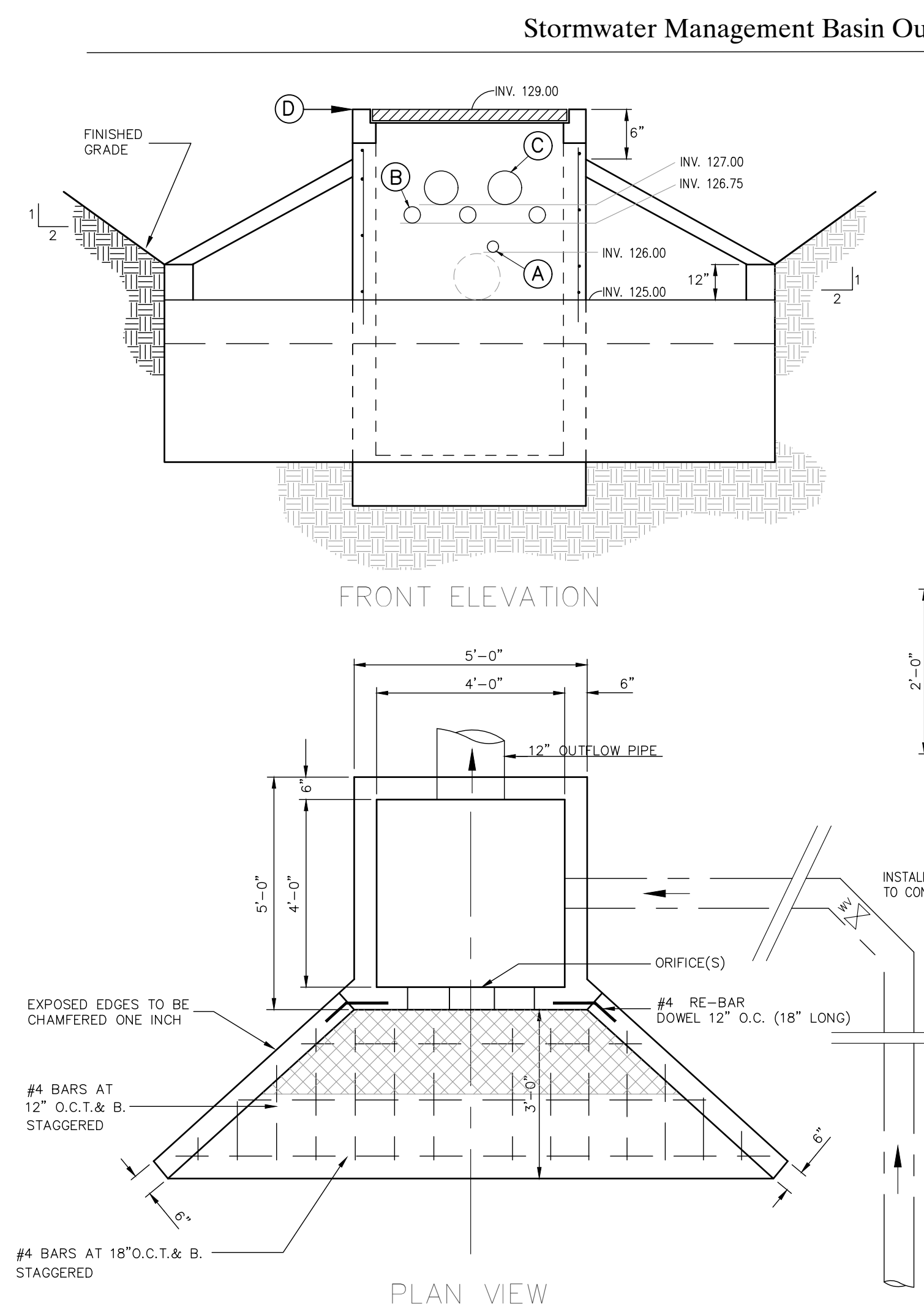
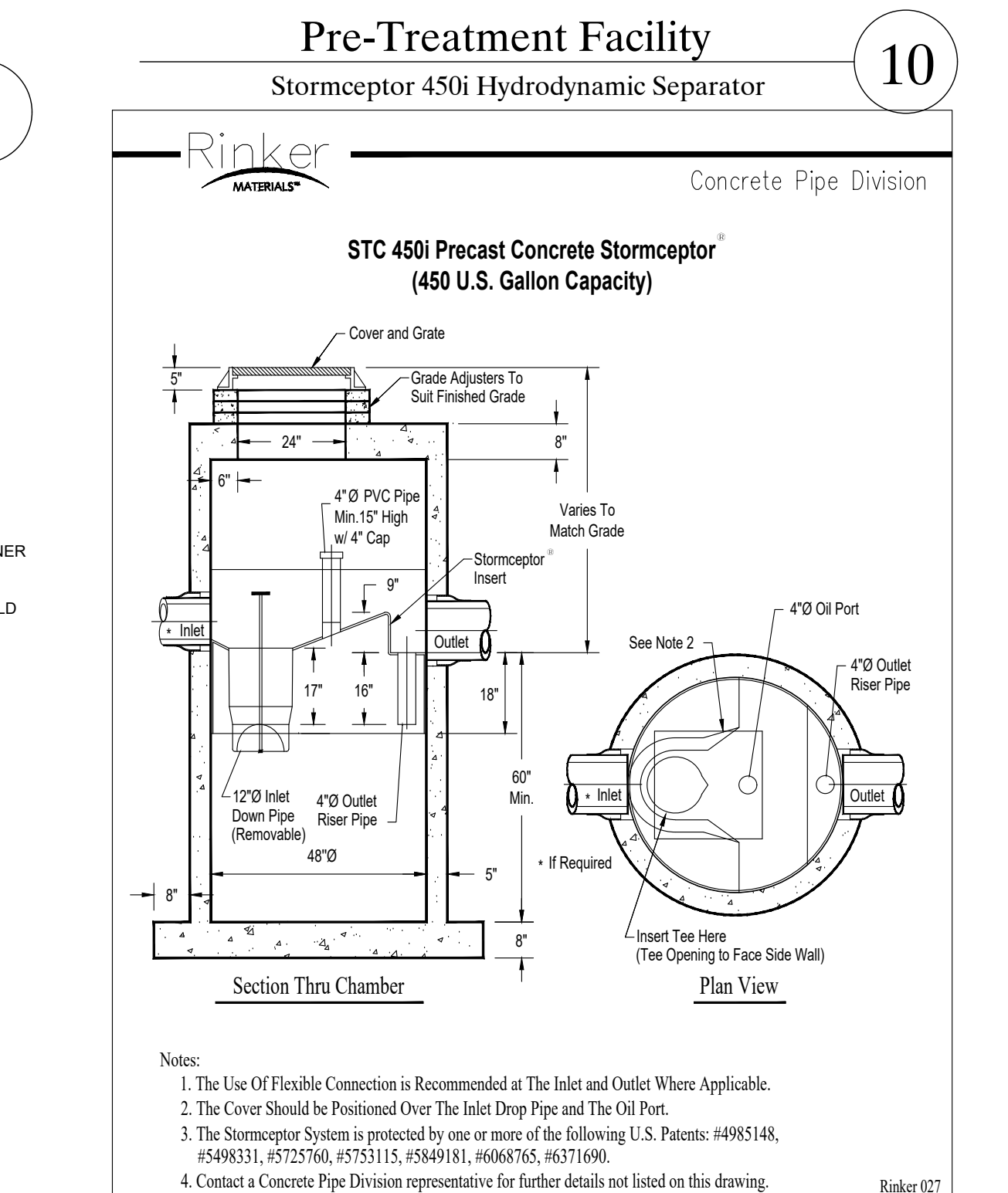
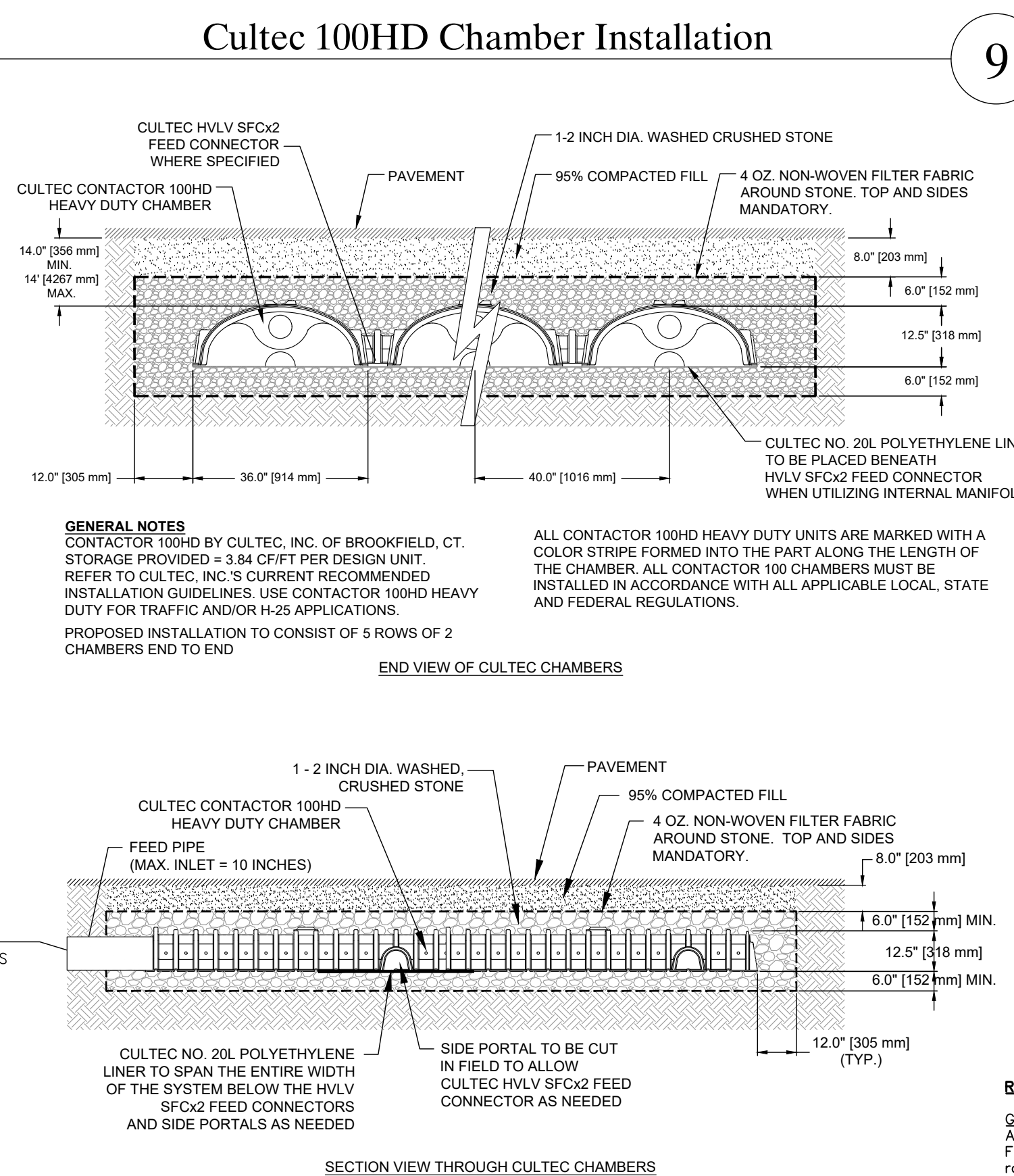
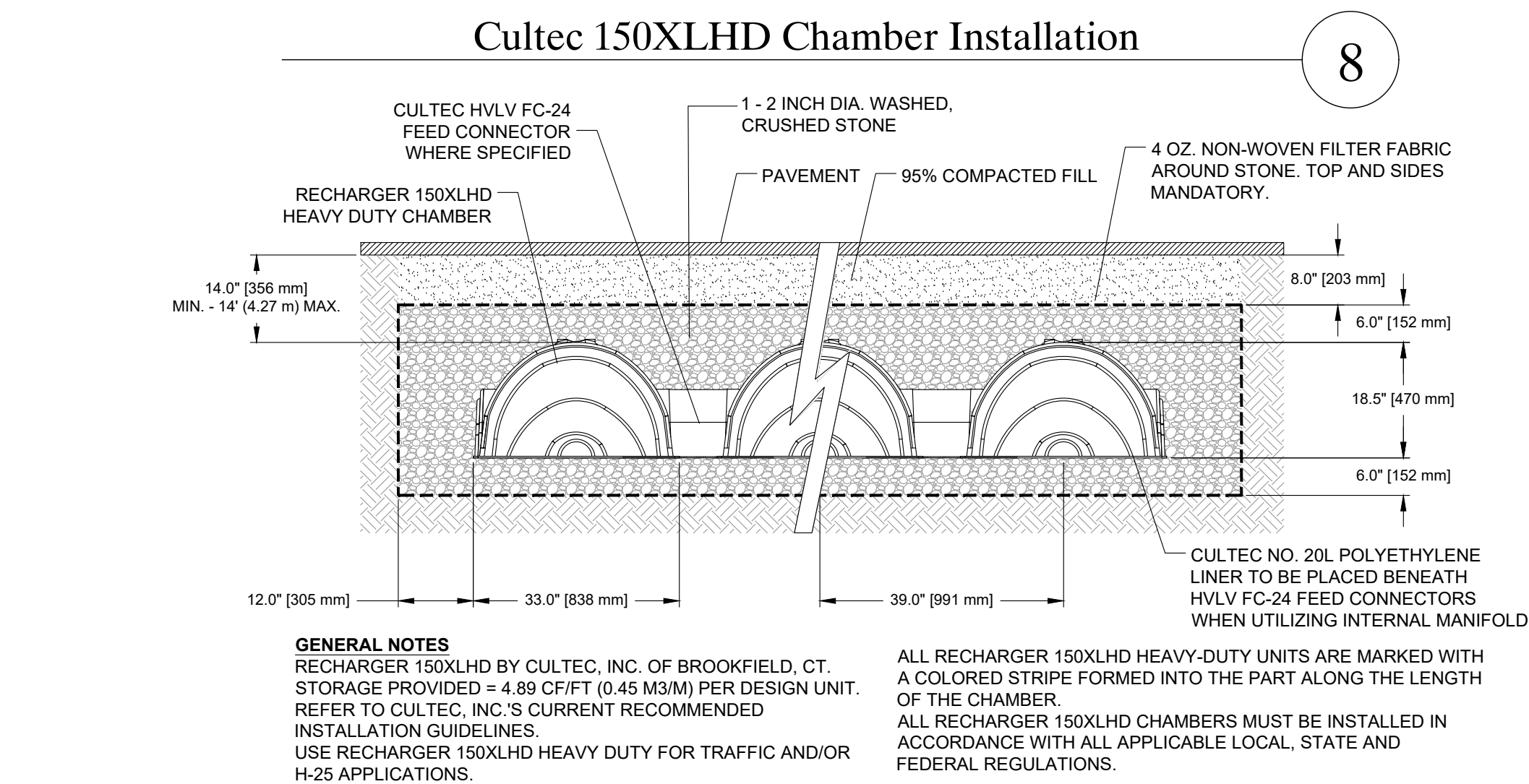
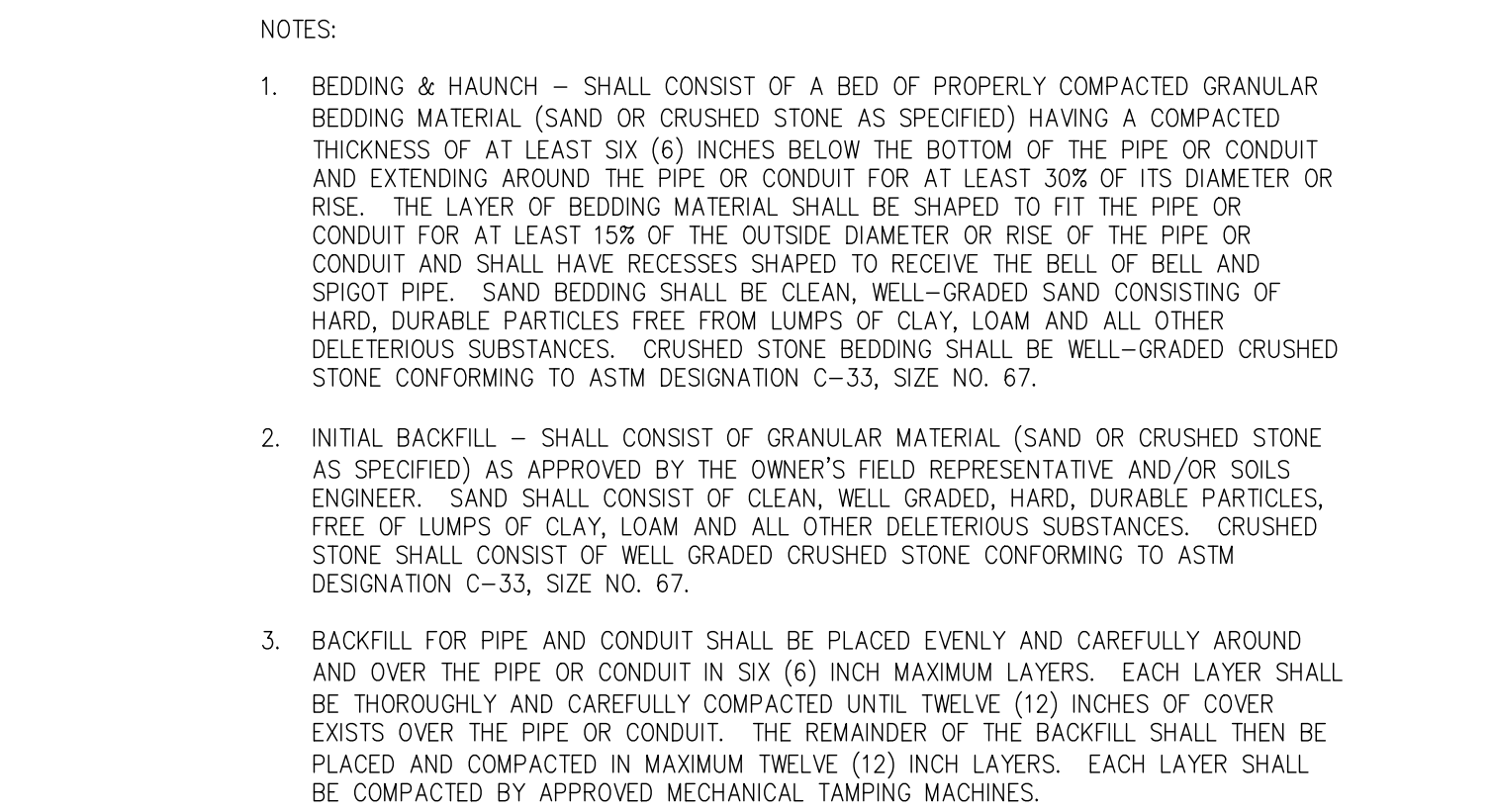
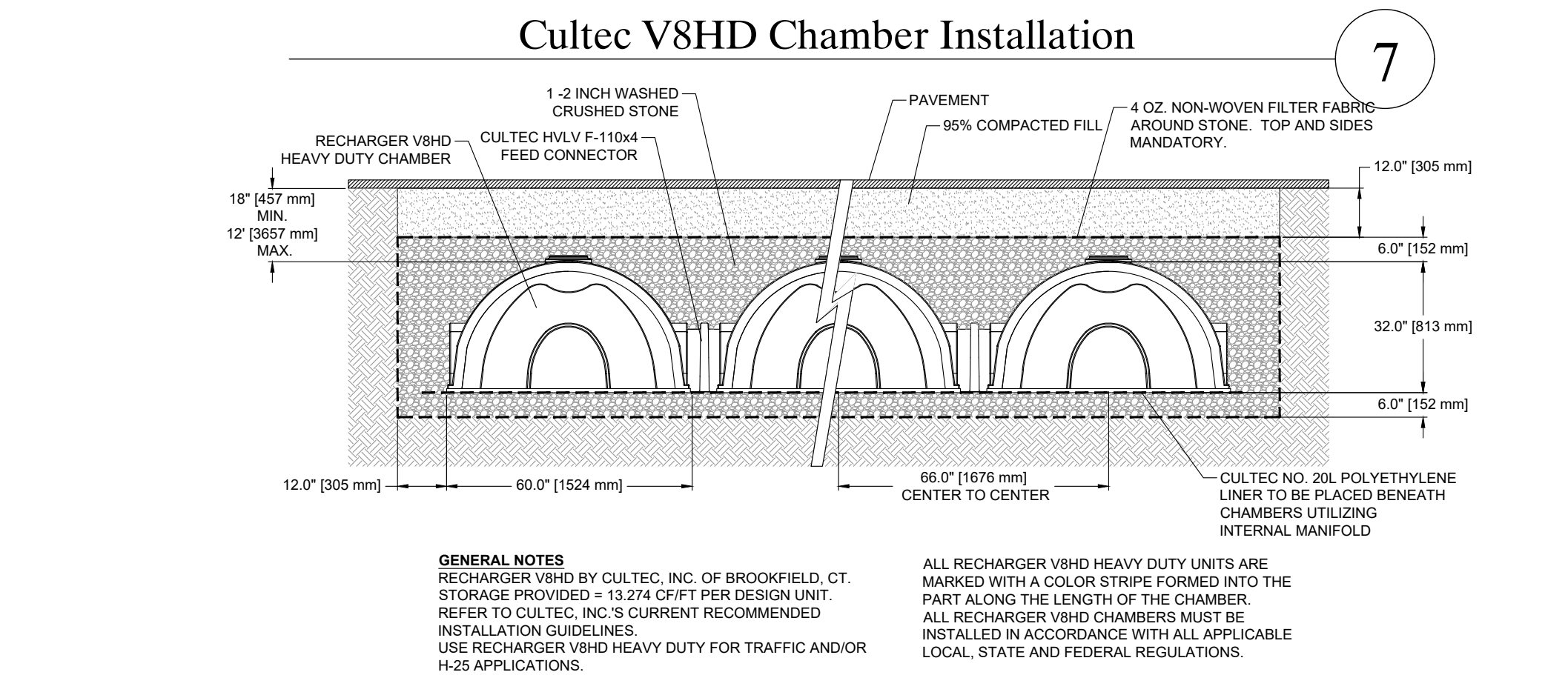
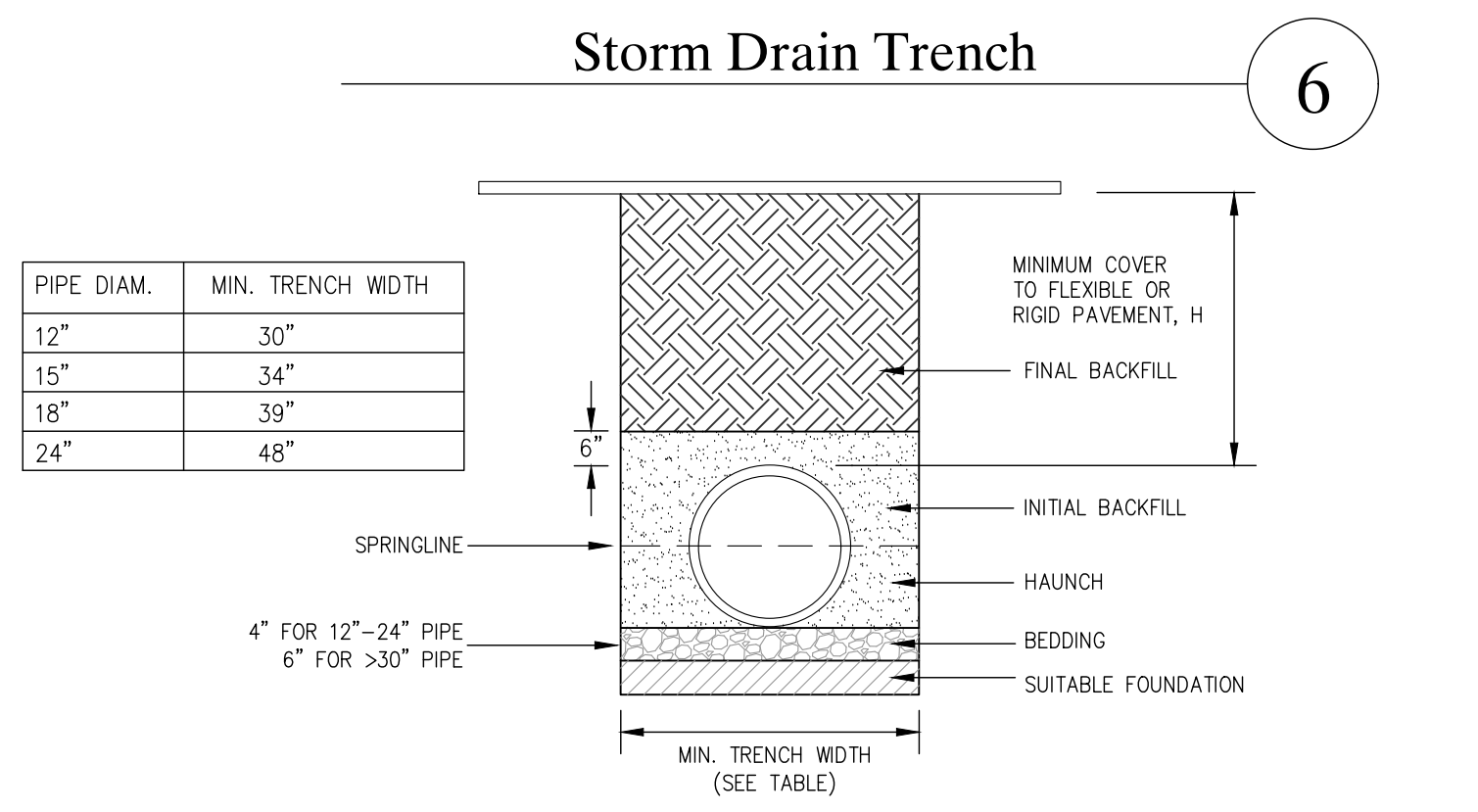
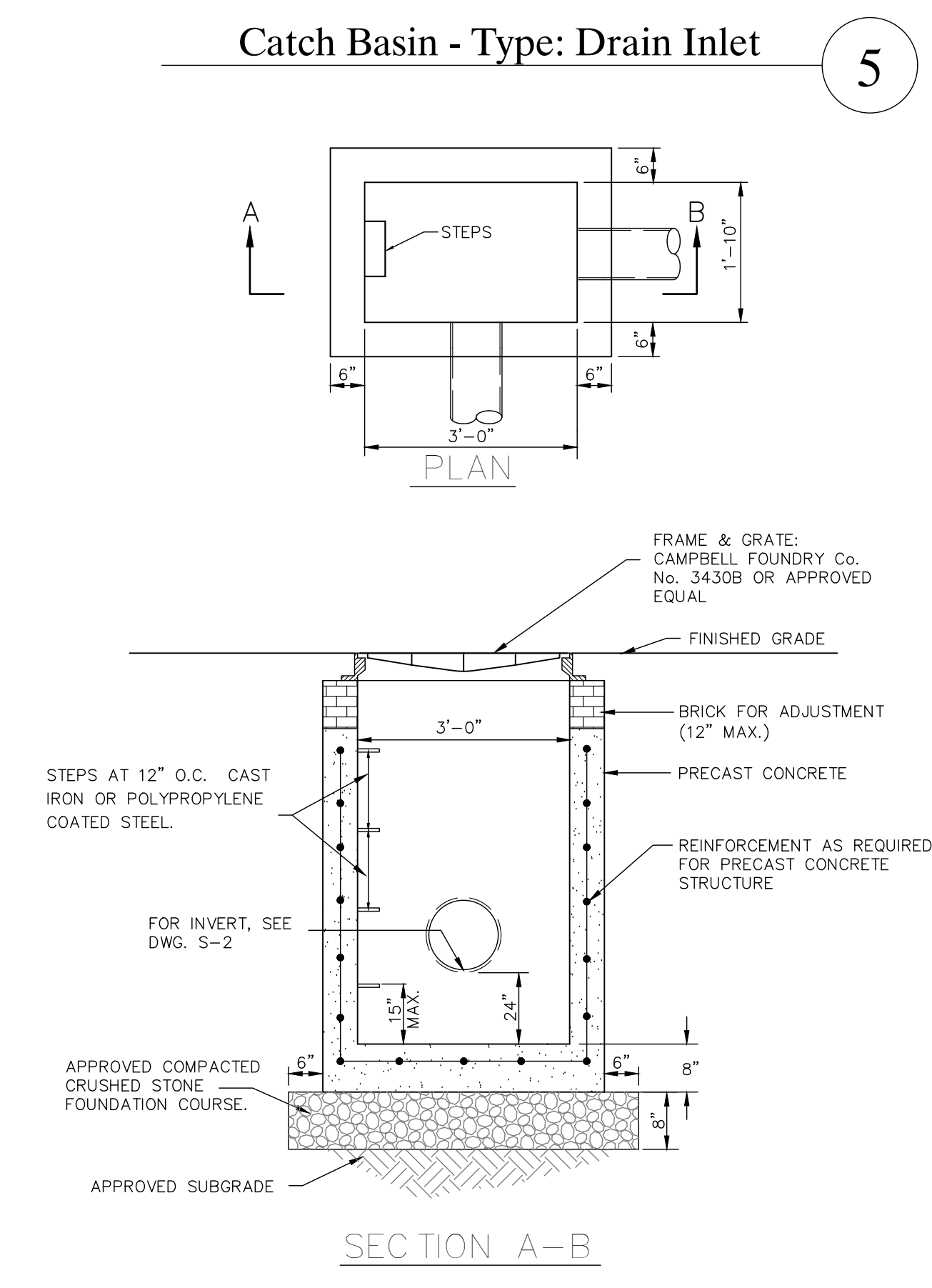
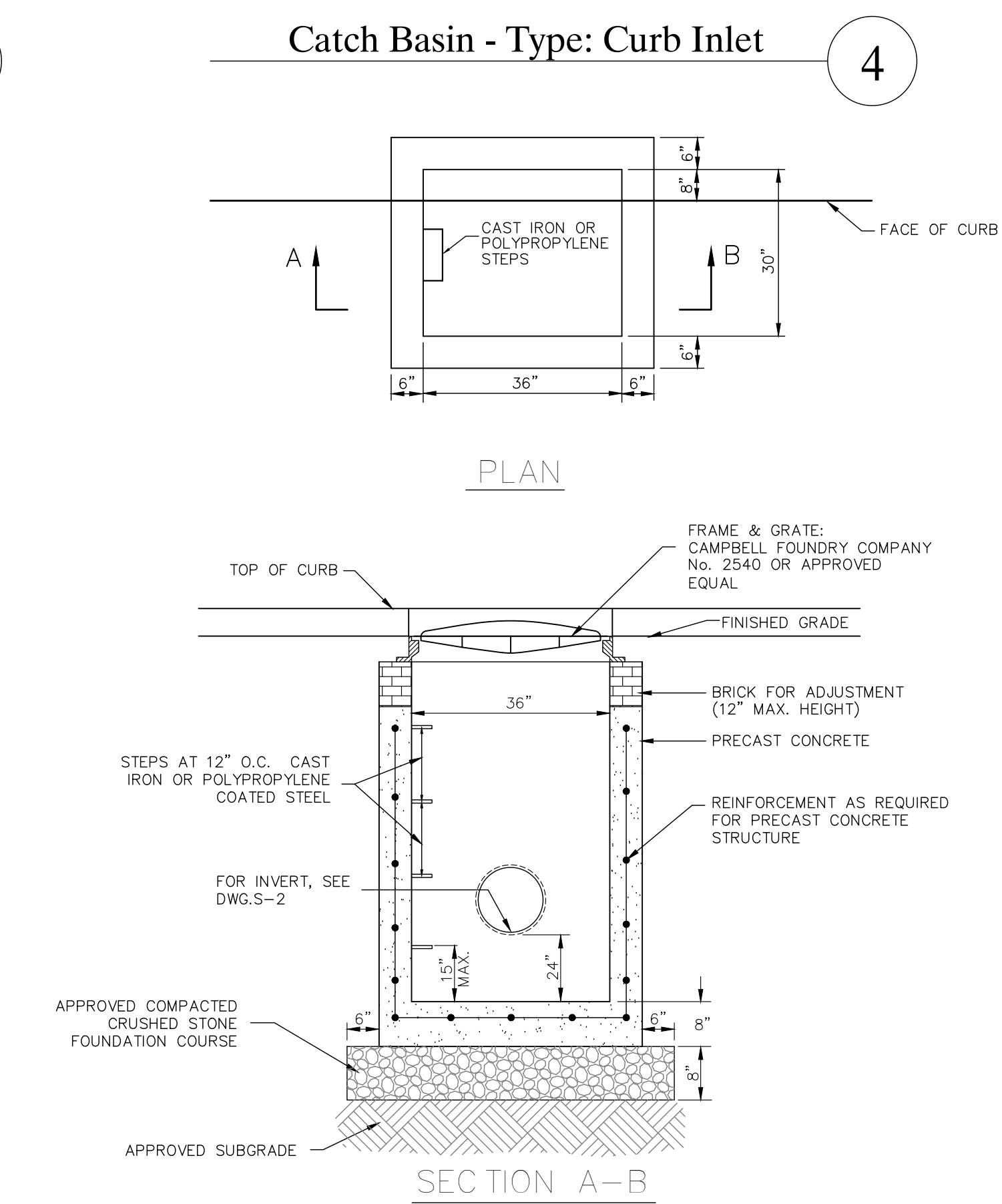
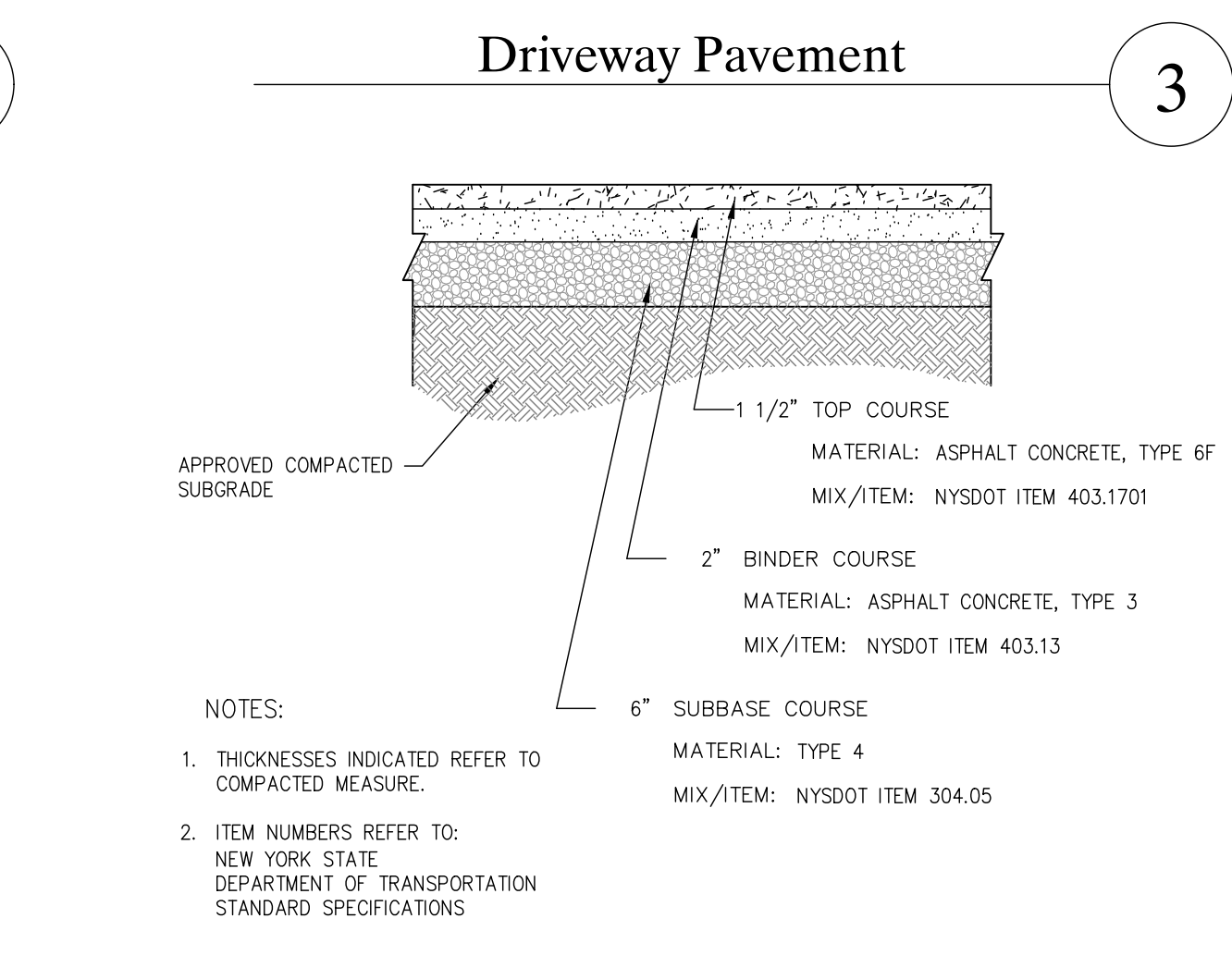
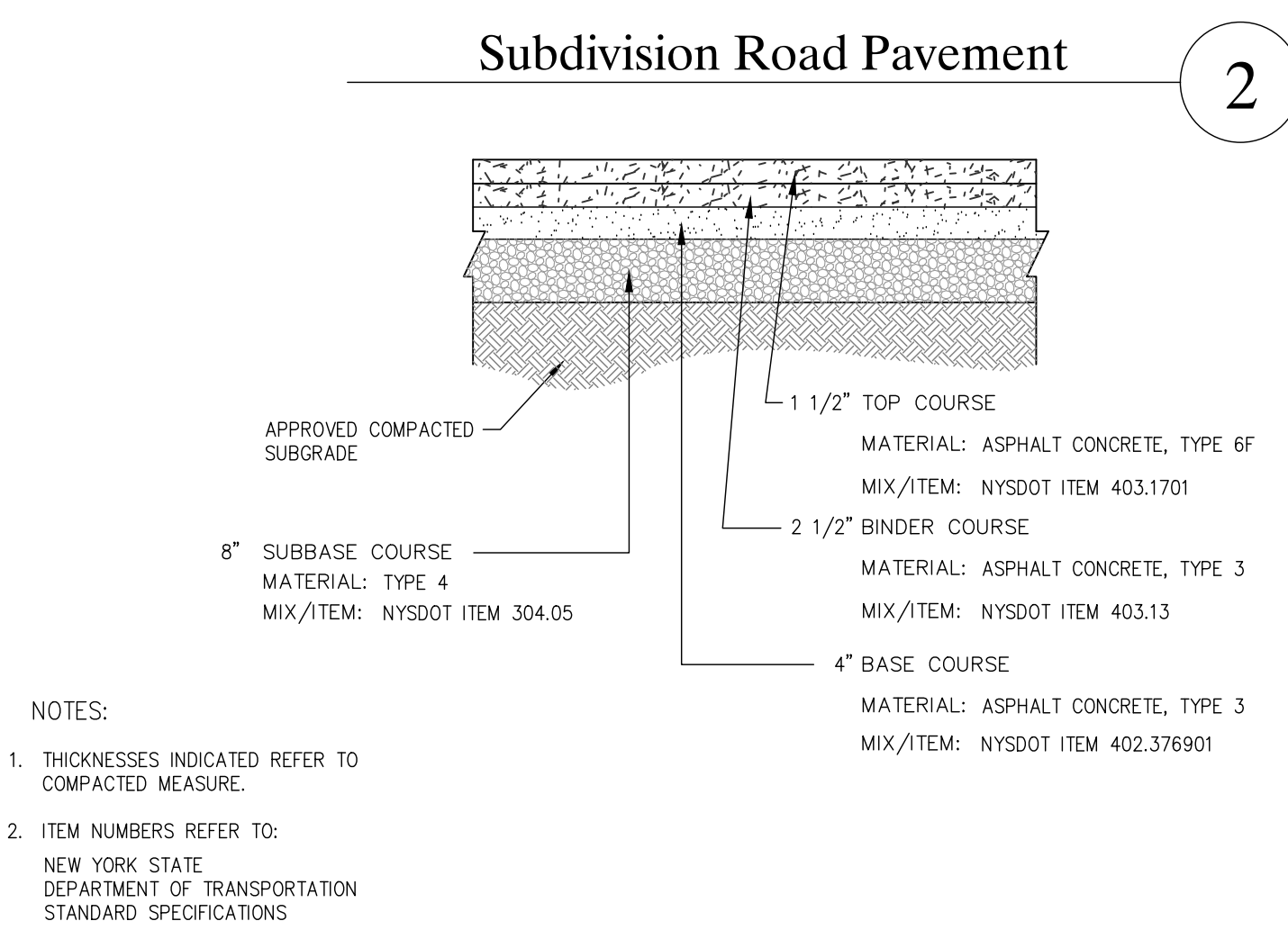
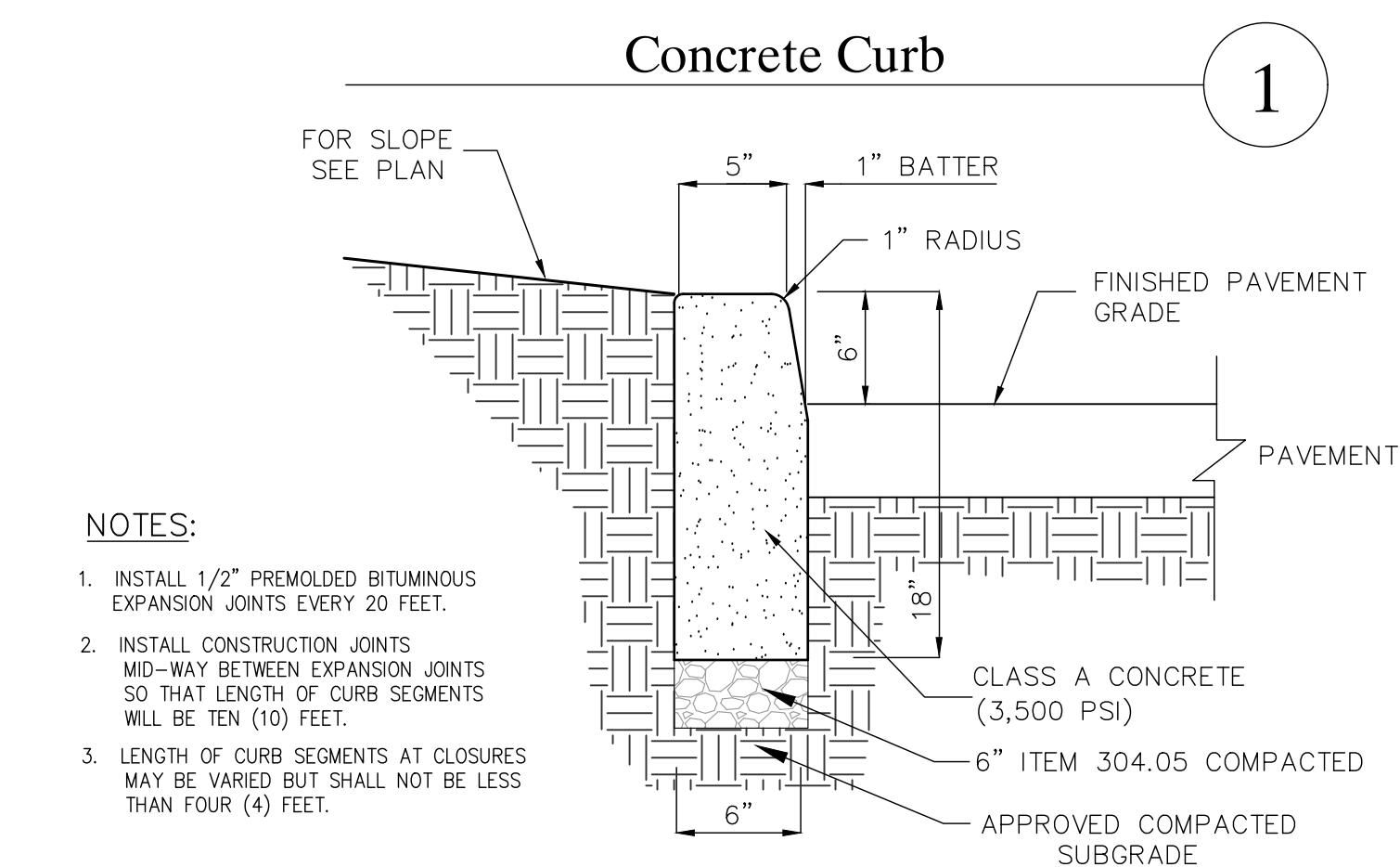
APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED DEC. 12, 2016

CHRISTOPHER CARTHY, CHAIRMAN

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE PE

S-5



OWNER:
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Chappaqua, New York 10514
Tel: (914) 238-3555
Fax: (914) 238-3435

WELSH Engineering & Land Surveying, P.C.
1.2 Campwoods Grounds
Ossining, N.Y. 10562
Tel: (914) 773-1701

ISSUED:	
Amended sheet for Conservation Subdivision	11/17/2014
Added detail #13	01/09/2015
Submission of SWPPP to NYCDEP	04/09/2015
Submission to Town and NYCDEP	07/24/2015
Submission to Town and NYCDEP	03/01/2016
Submission to Town for Prelim & Final Subdivision Plan	10/07/2016
Submission to Town for Prelim & Final Subdivision Plan	03/20/2020
OWNERSHIP AND USE OF DOCUMENTS	
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 720(2)(g) OF THE NEW YORK STATE EDUCATION LAW.	
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SEAL:

The seal is circular with the text "STATE OF NEW YORK" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom. In the center is a crest featuring a plow, a sheaf of wheat, and a bundle of timber. Below the crest is the license number "No. 080167". The name "ALAN L. PILCH" is inscribed above the crest. Two stars are positioned on the left and right sides of the seal.

N

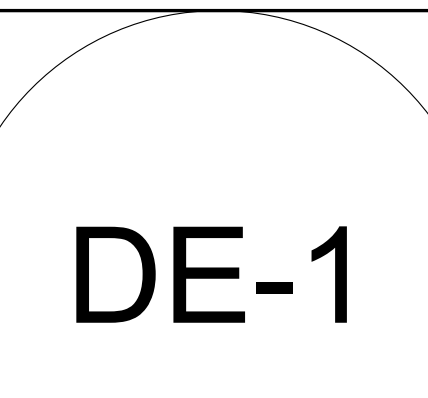
**ENVIRONMENTAL CONSULTANT:
EVANS ASSOCIATES
ENVIRONMENTAL CONSULTING, INC.**

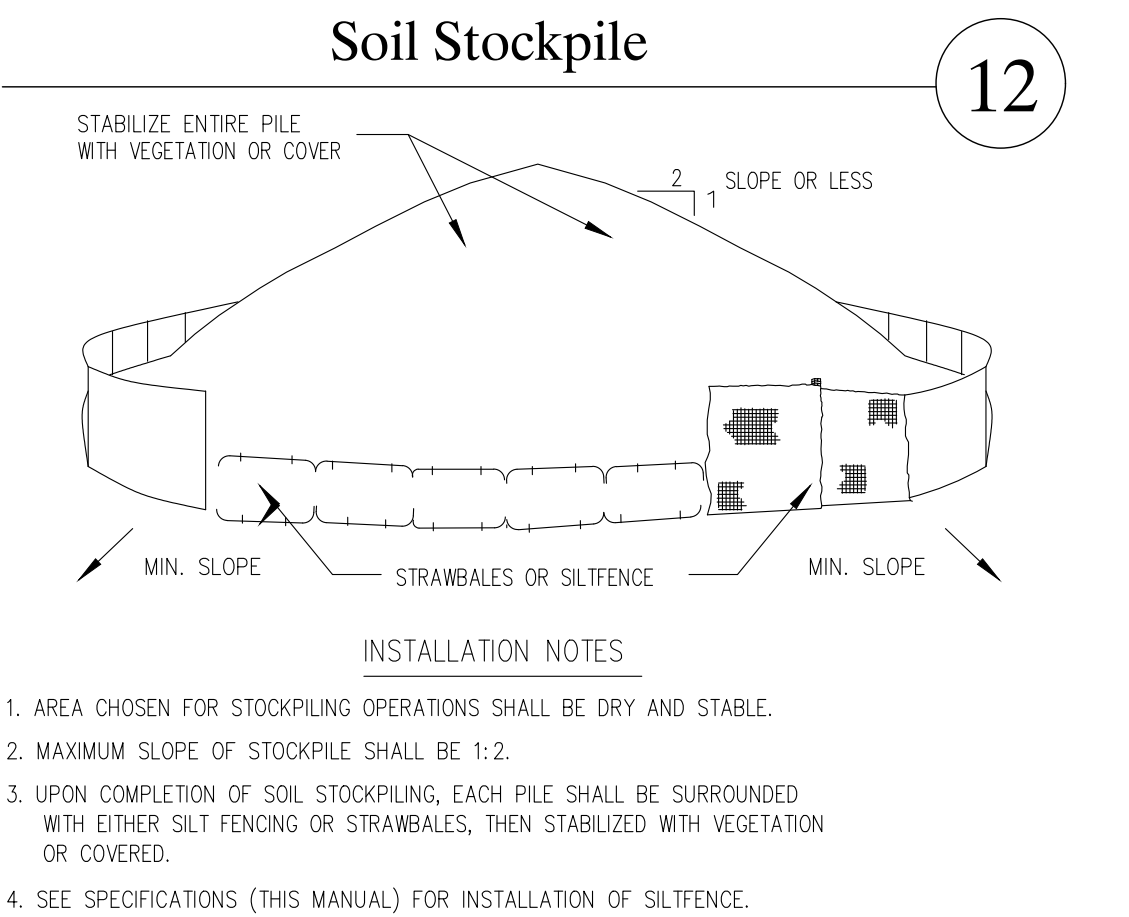
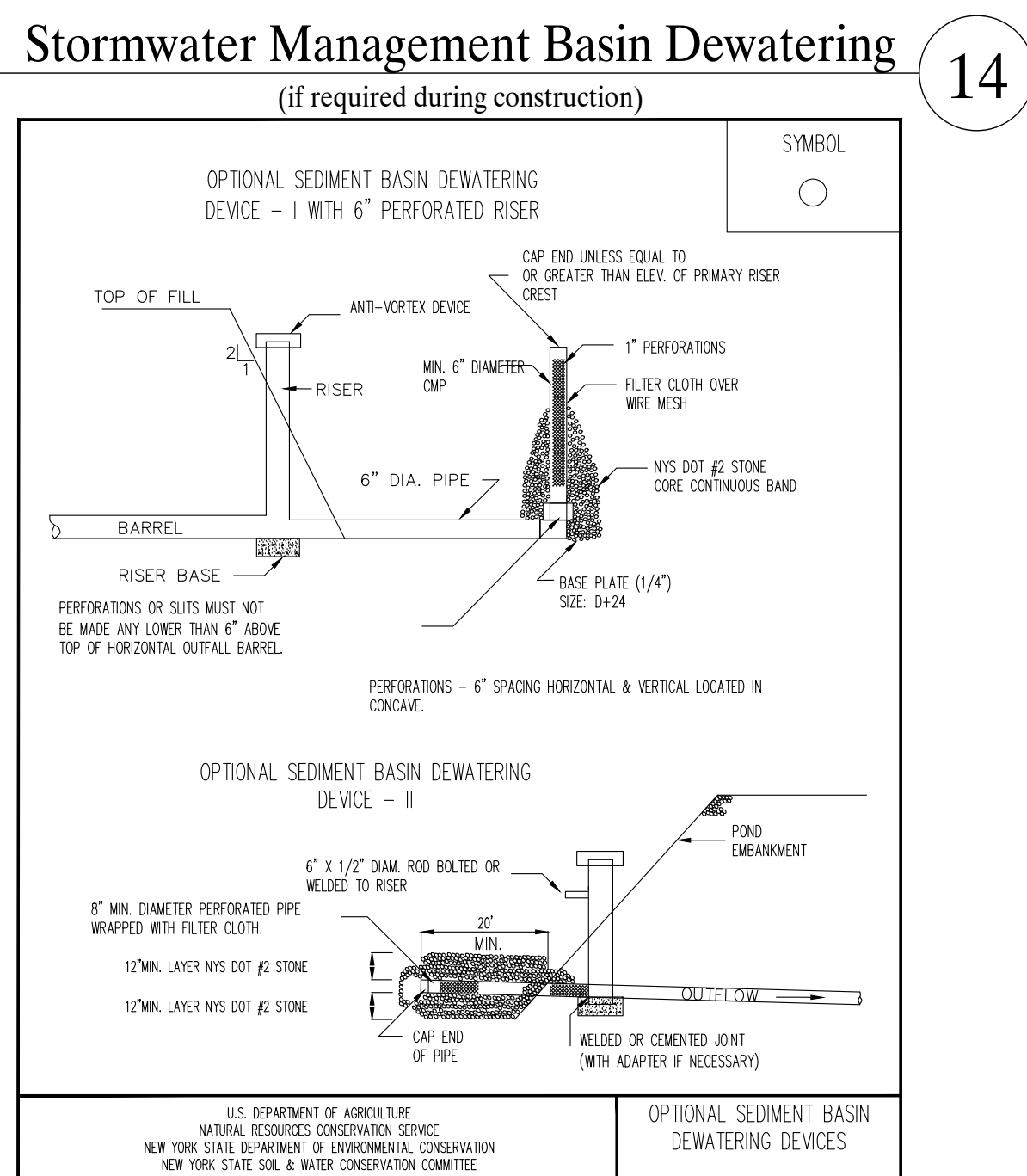
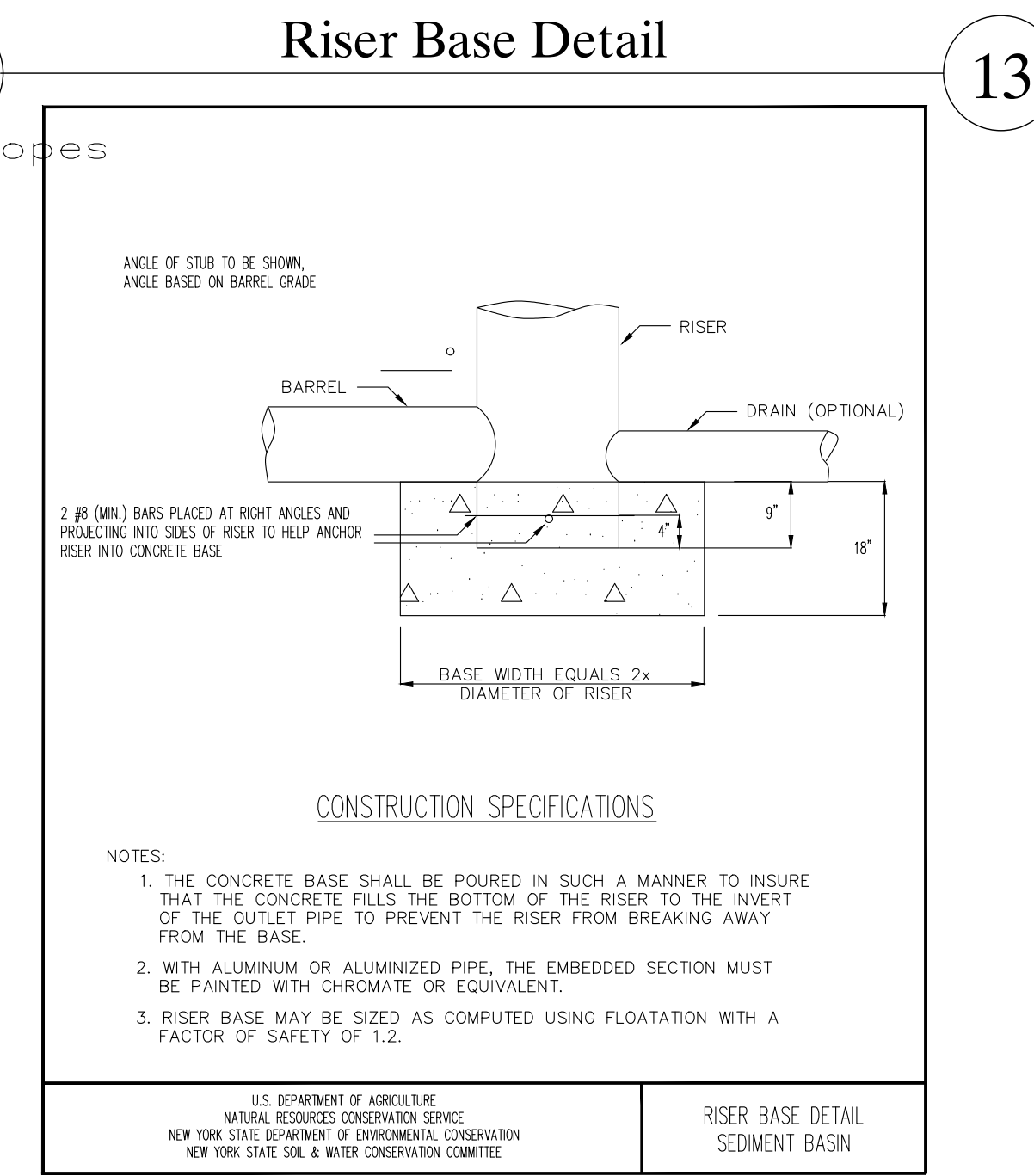
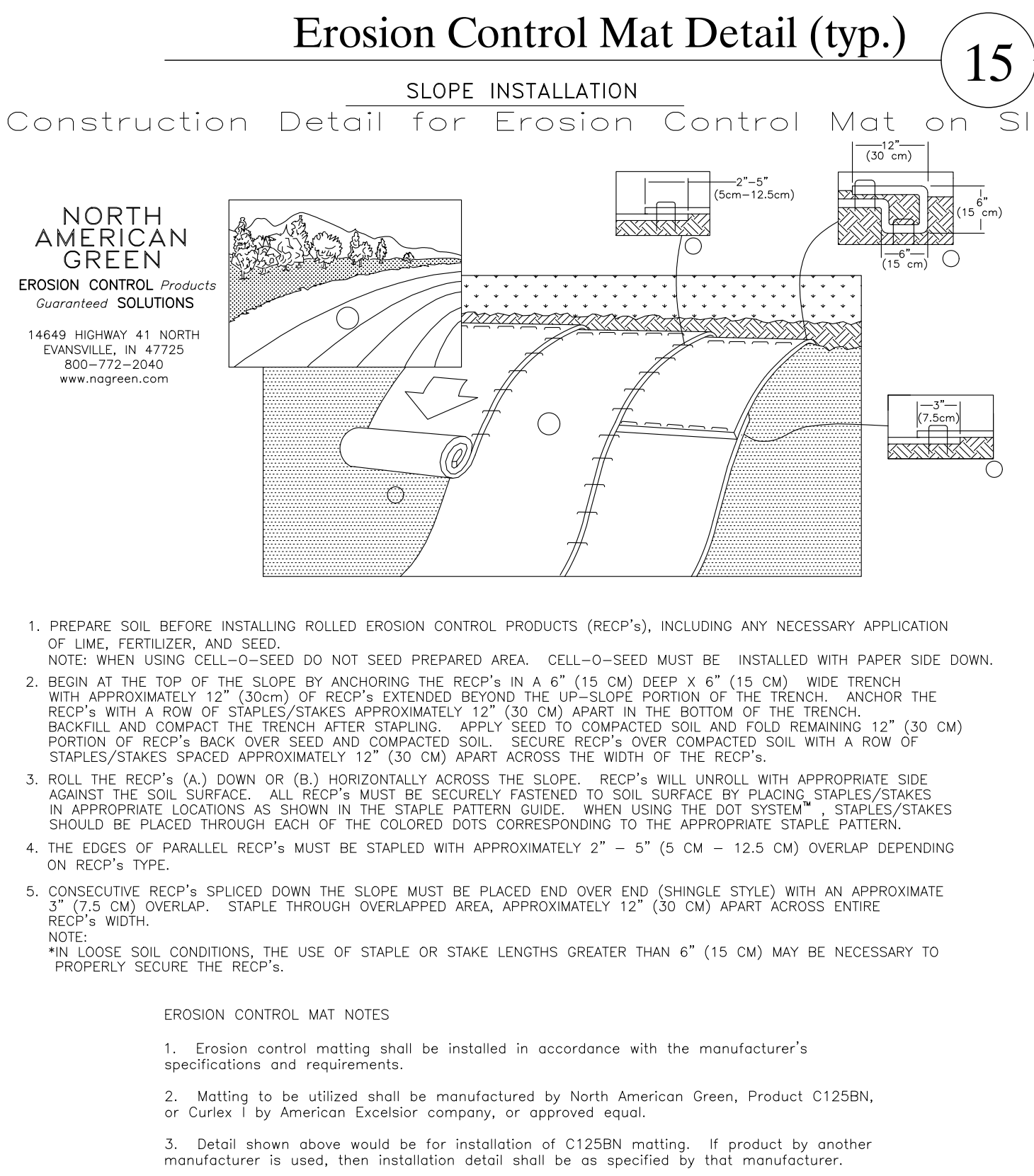
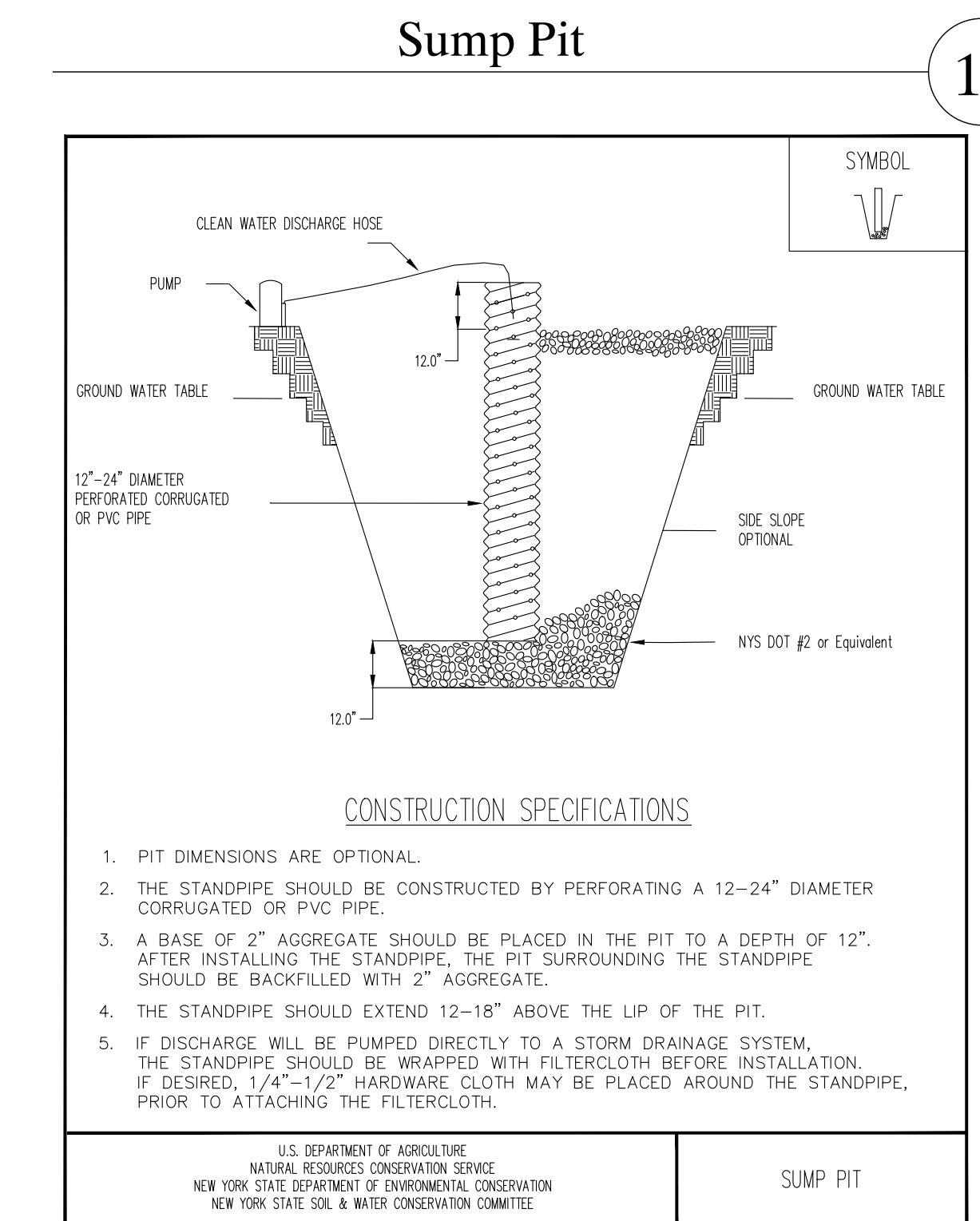
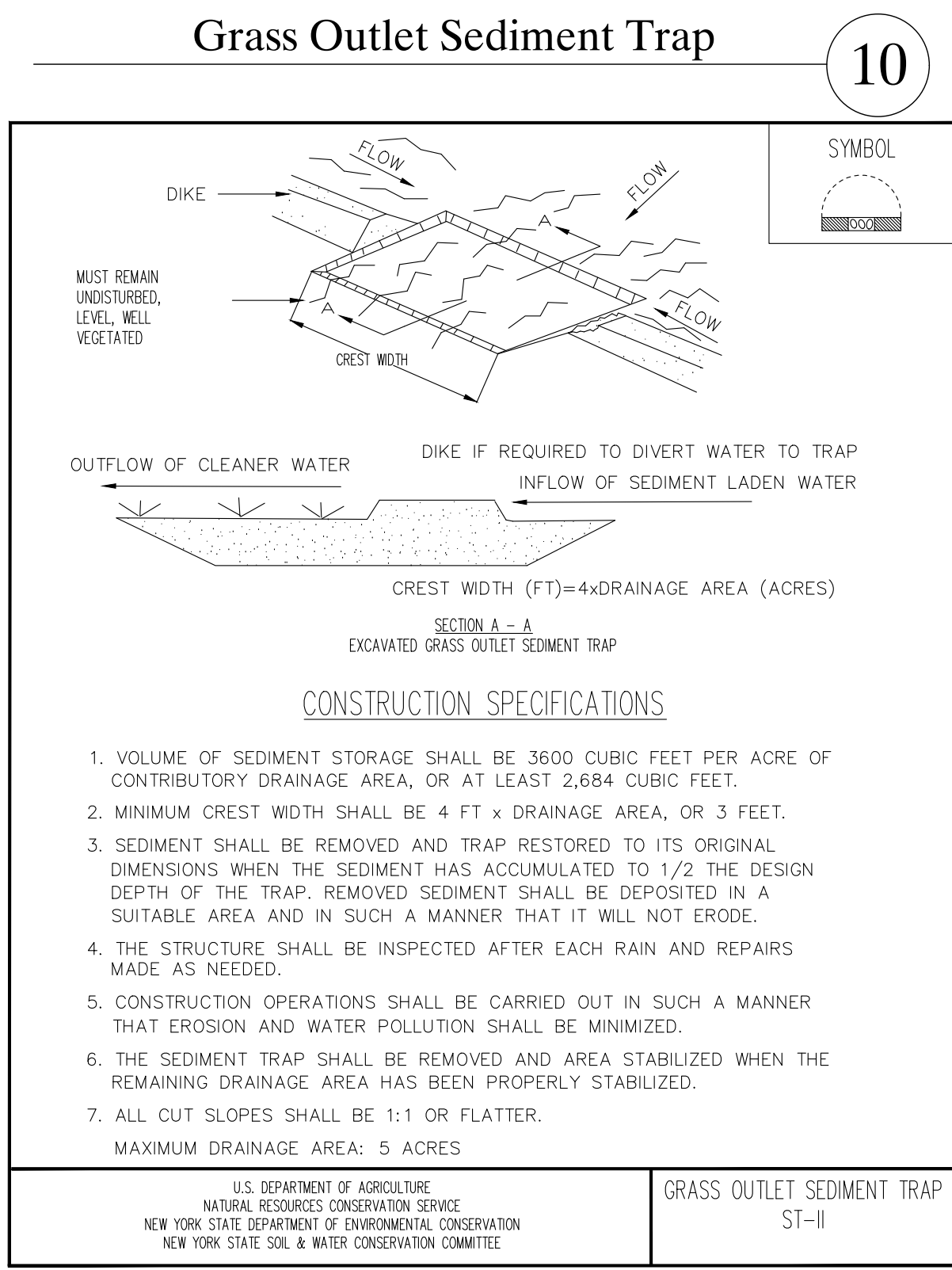
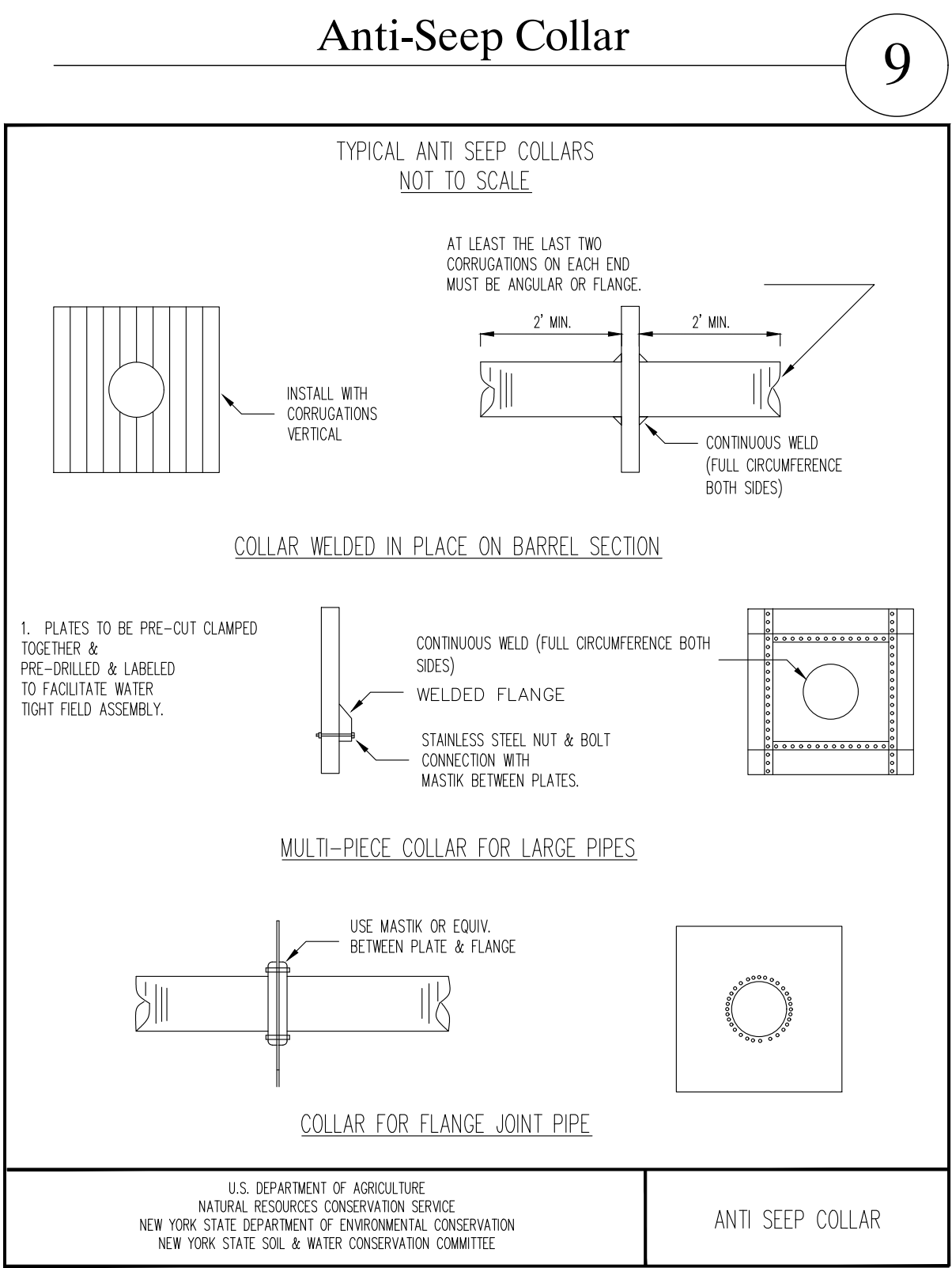
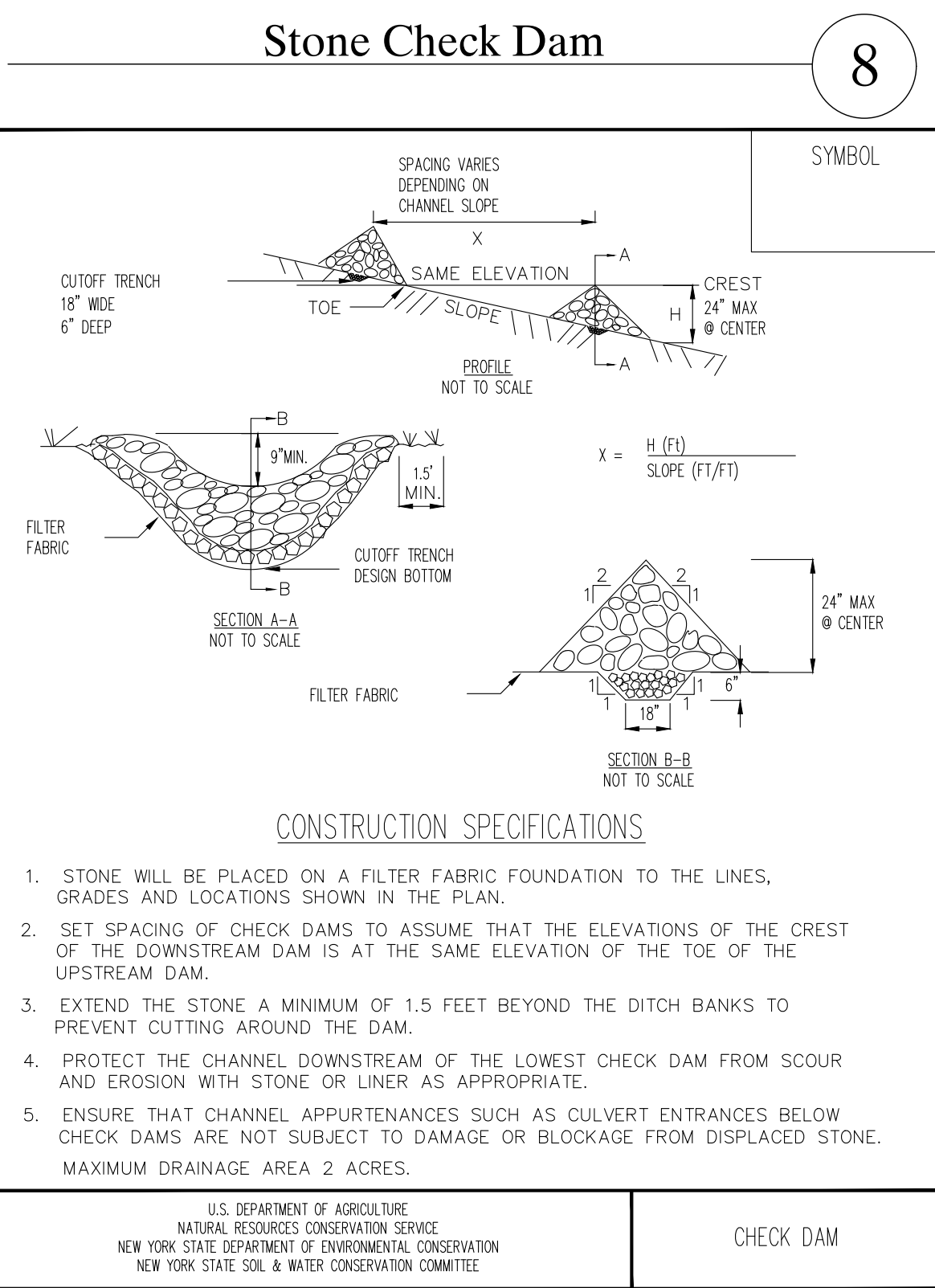
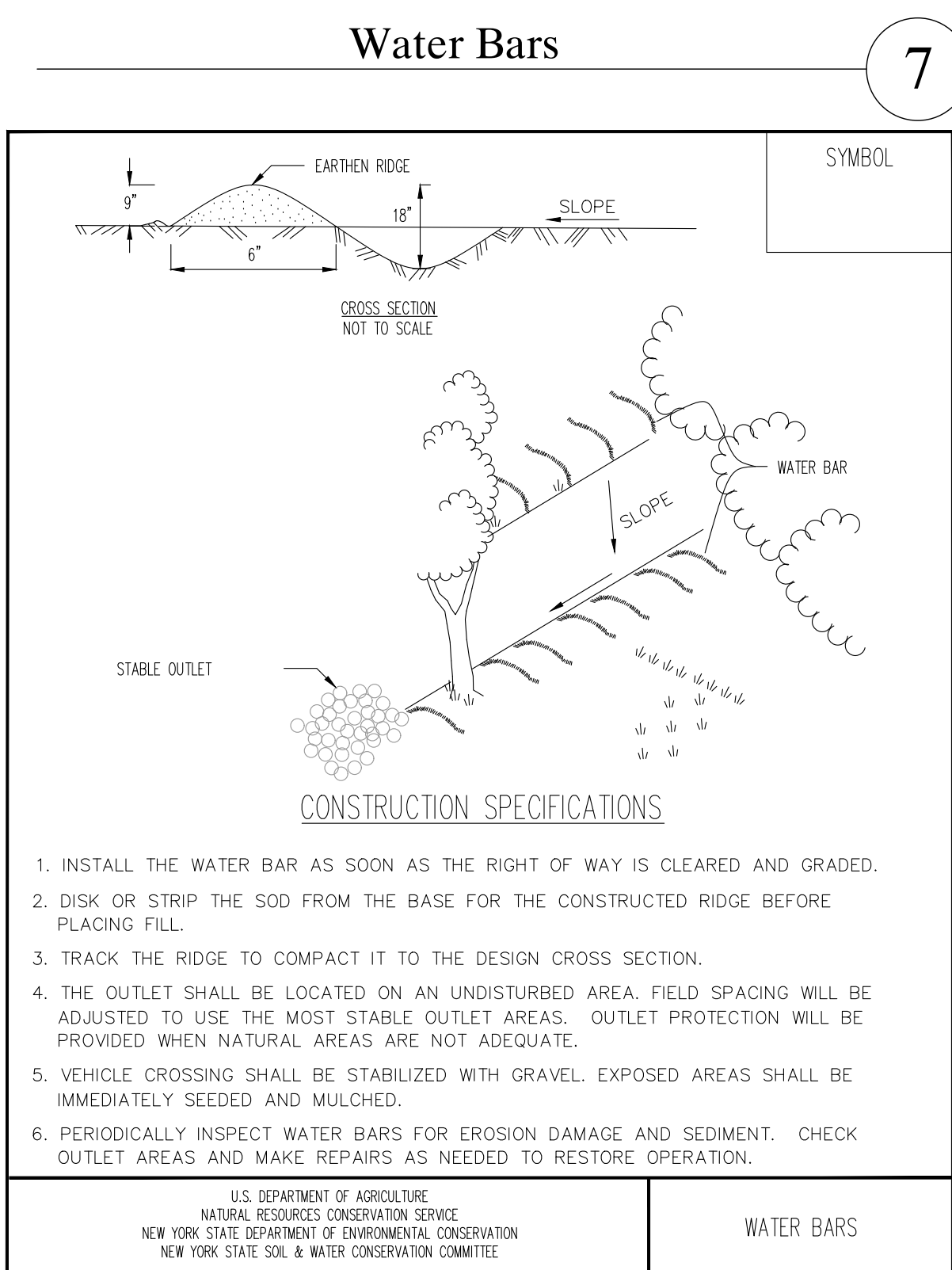
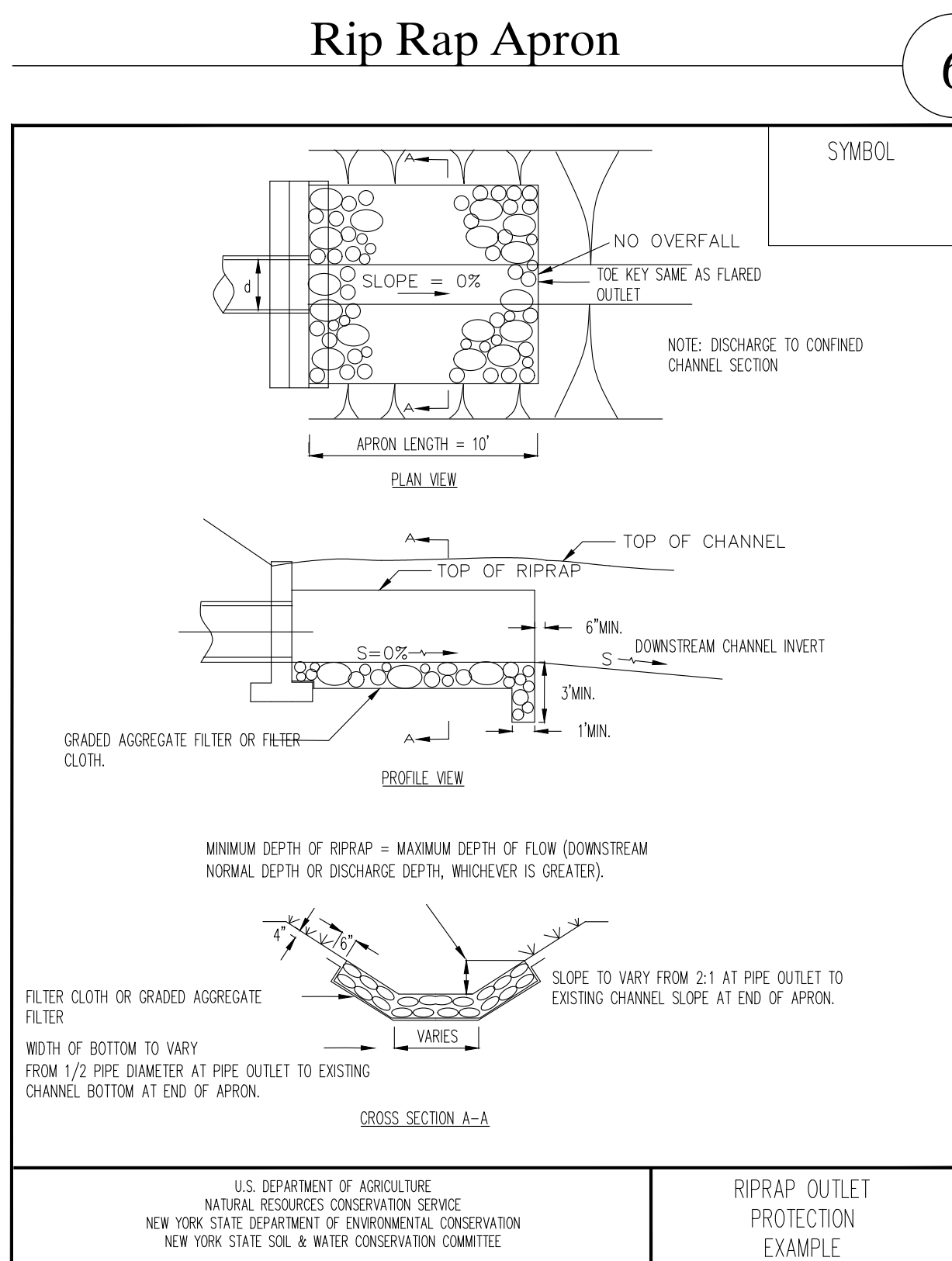
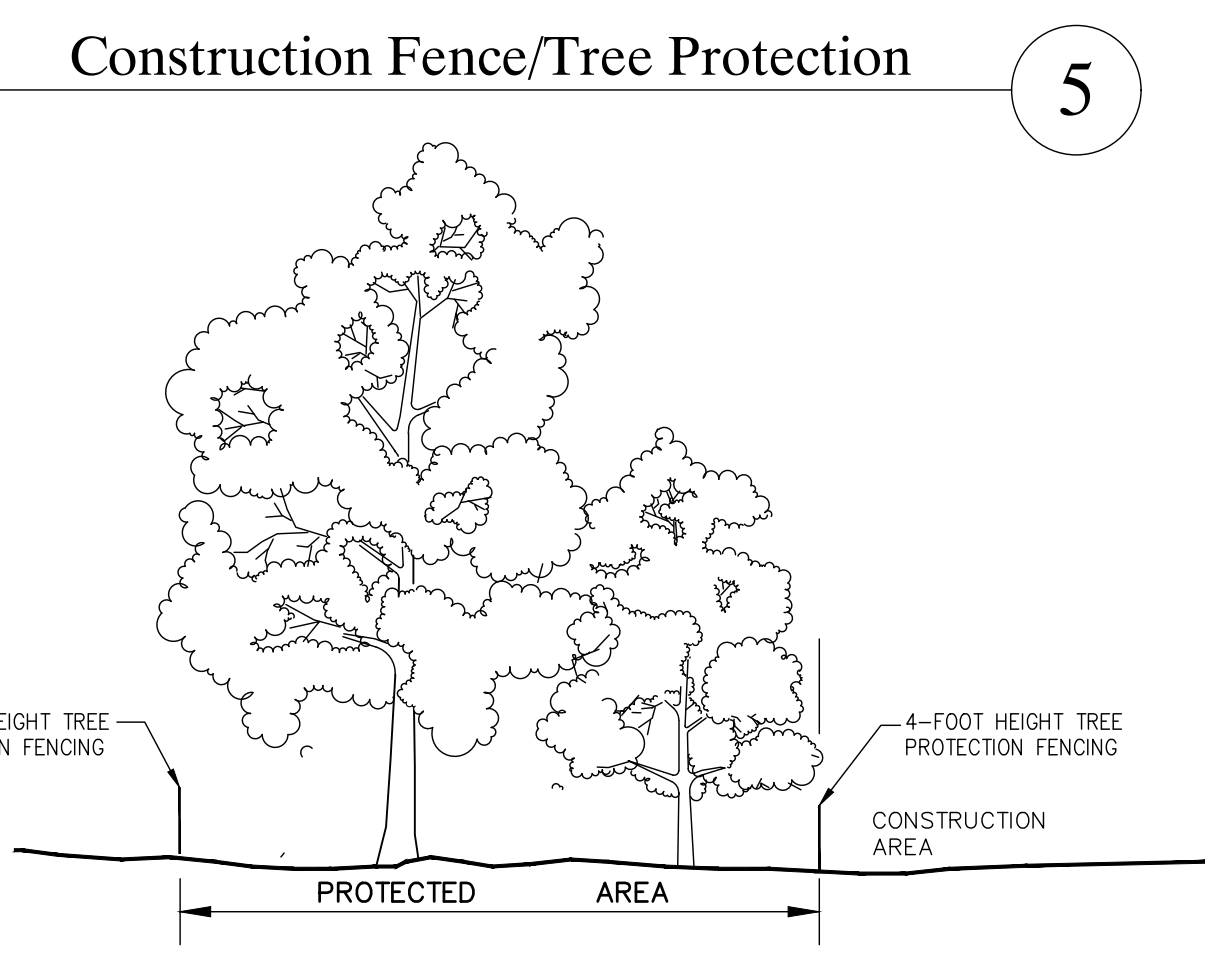
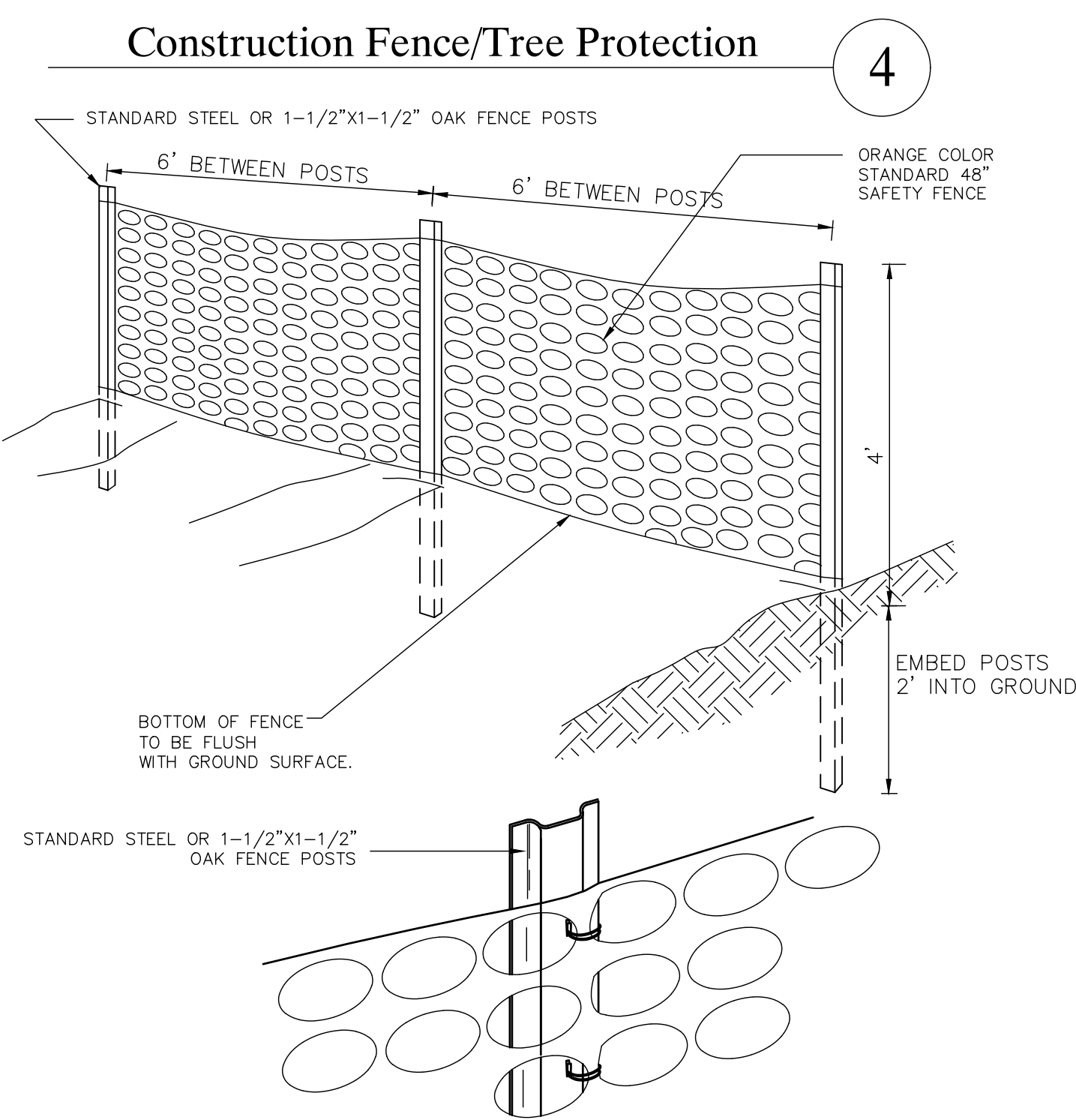
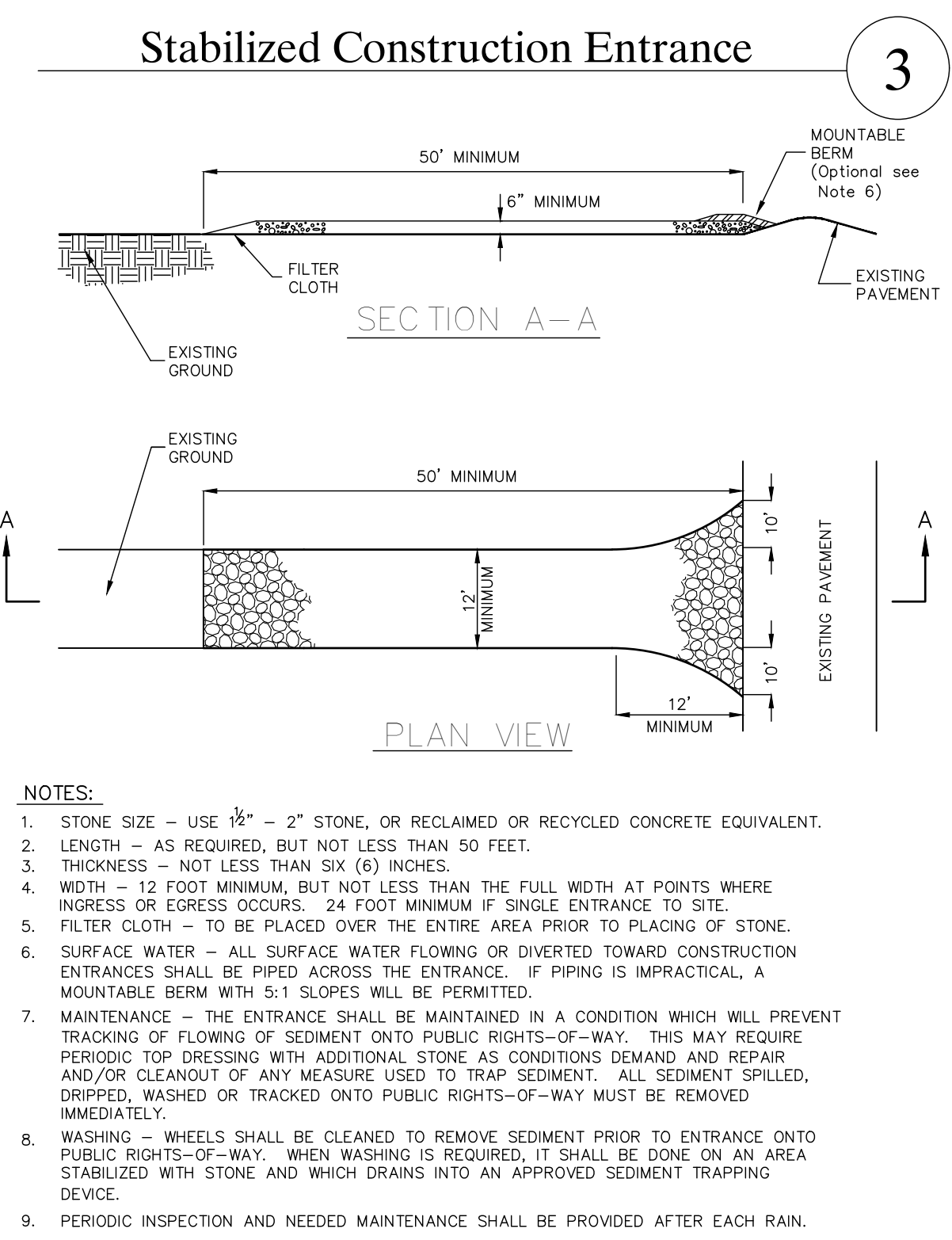
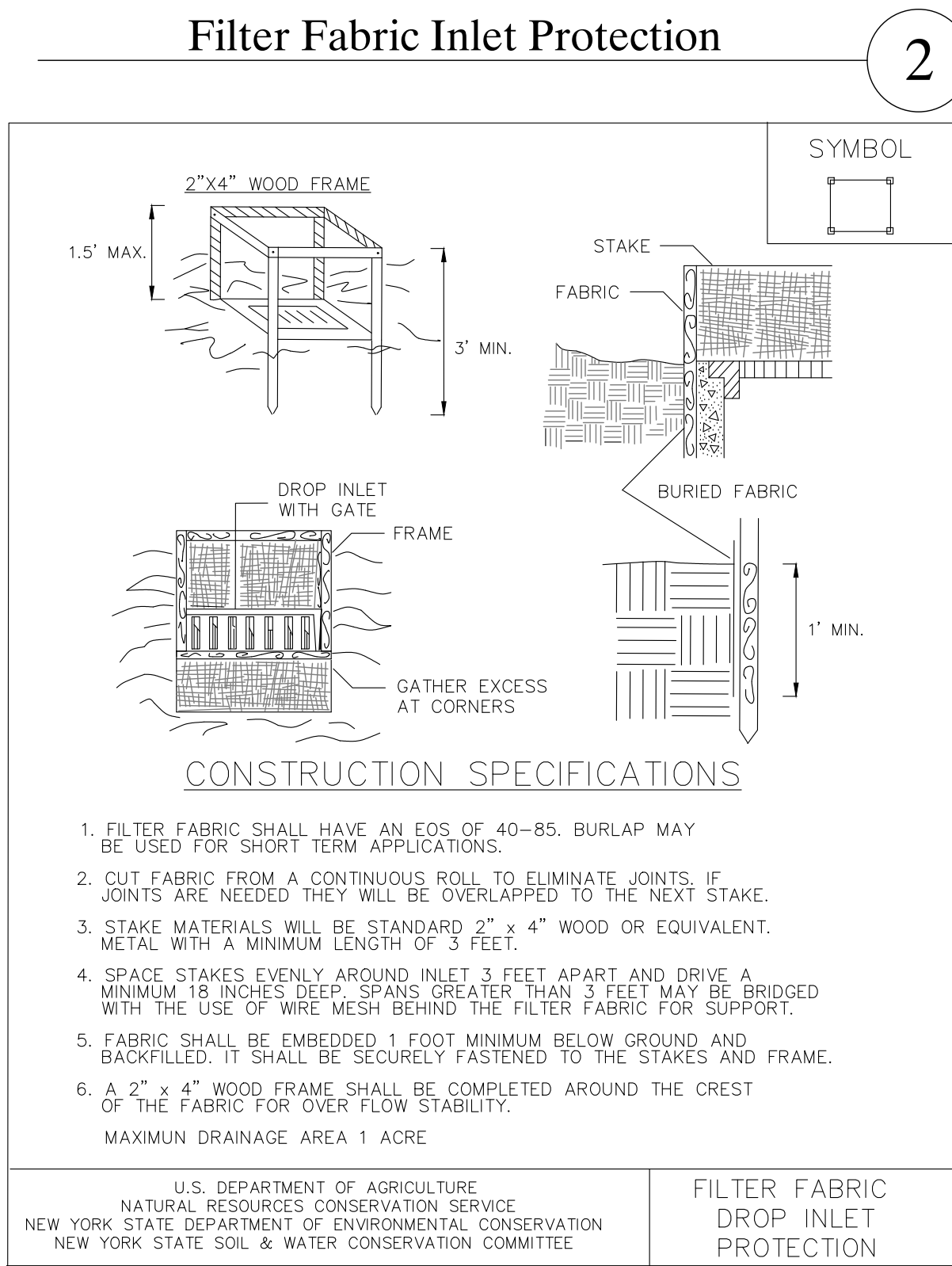
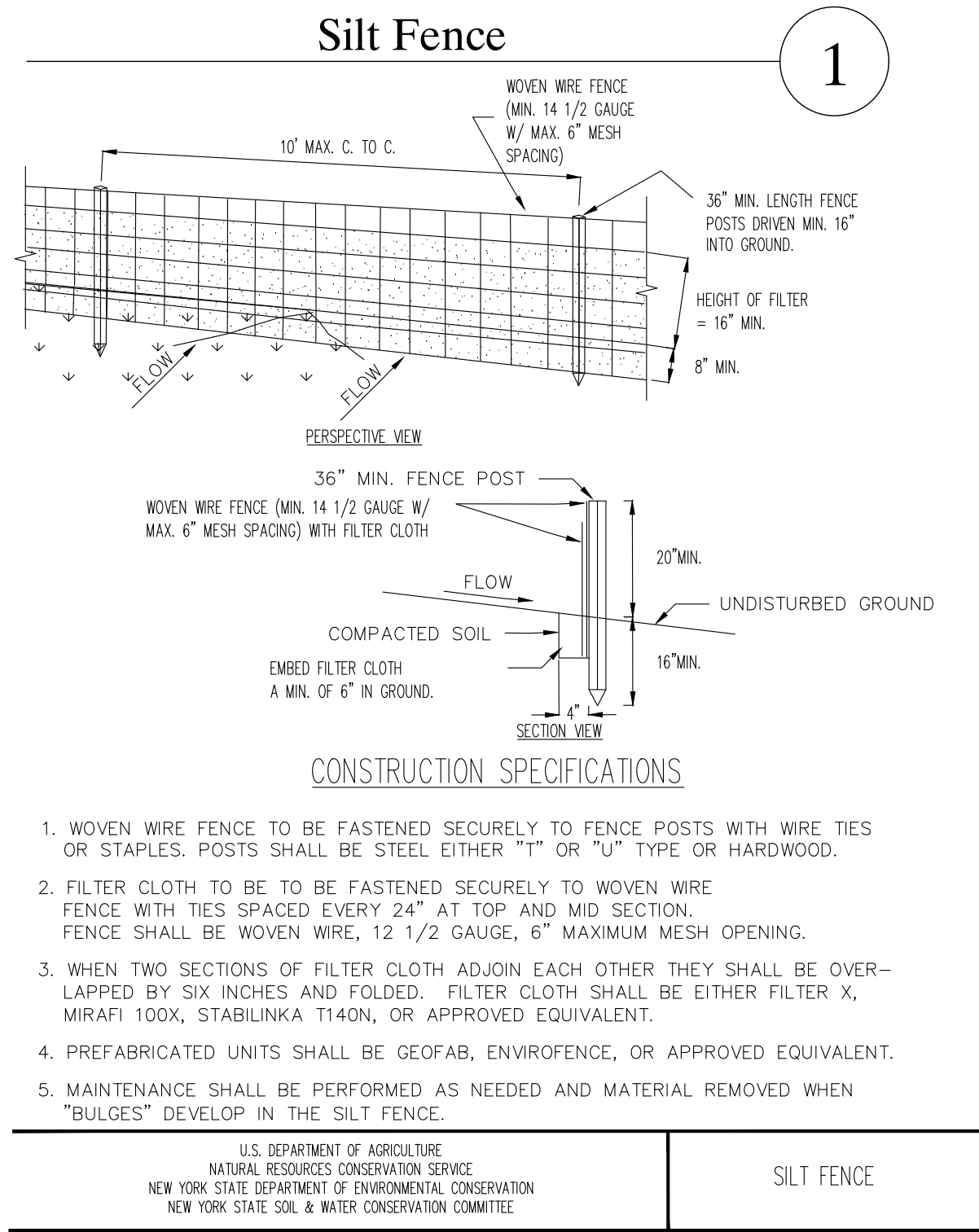
162 Falls Road Bethany, Connecticut 06524
Tel. (203) 393-0600

PROJECT NAME:
HIDDEN OAK SUBDIVISION
Hidden Oak Road
Town of North Castle, New York

ENGINEER & LANDSCAPE ARCHITECT:
**ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC**
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Drawing title:	
Construction Details	
Date:	July 15, 2014
Dwn. by:	alp
ID:	2.7_C05.31.2016
	



OWNER:
McKenna Custom Homes, Inc.
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Tel: (914) 238-3555
Fax: (914) 238-3435

WELSH Engineering & Land Surveying, P.C.
12 Campwoods Grounds
Ossining, N.Y. 10562
Tel: (914) 773-1701

ISSUED:
Amended sheet for Conservation Subdivision 11/17/2014
General Revisions 01/09/2015
Submission of SWPPP to NYCDEP 04/09/2015
Submission to Town and NYCDEP 07/24/2015
Submission to Town and NYCDEP 12/15/2015
Submission to Town and NYCDEP 03/01/2016
Submission to Town for Prelim and Final Subdivision Plan appl 10/07/2016
Submission to Town for Prelim and Final Subdivision Plan appl 03/20/2020

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EVANS ASSOCIATES
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Tel: (203) 393-0690

PROJECT NAME:
HIDDEN OAK SUBDIVISION
Hidden Oak Road
Town of North Castle, New York

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC
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Drawing title:
Construction Details

Date: May 30, 2014
Dwn by: alp
ID: _C05.31.2016

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED DEC. 12, 2016.

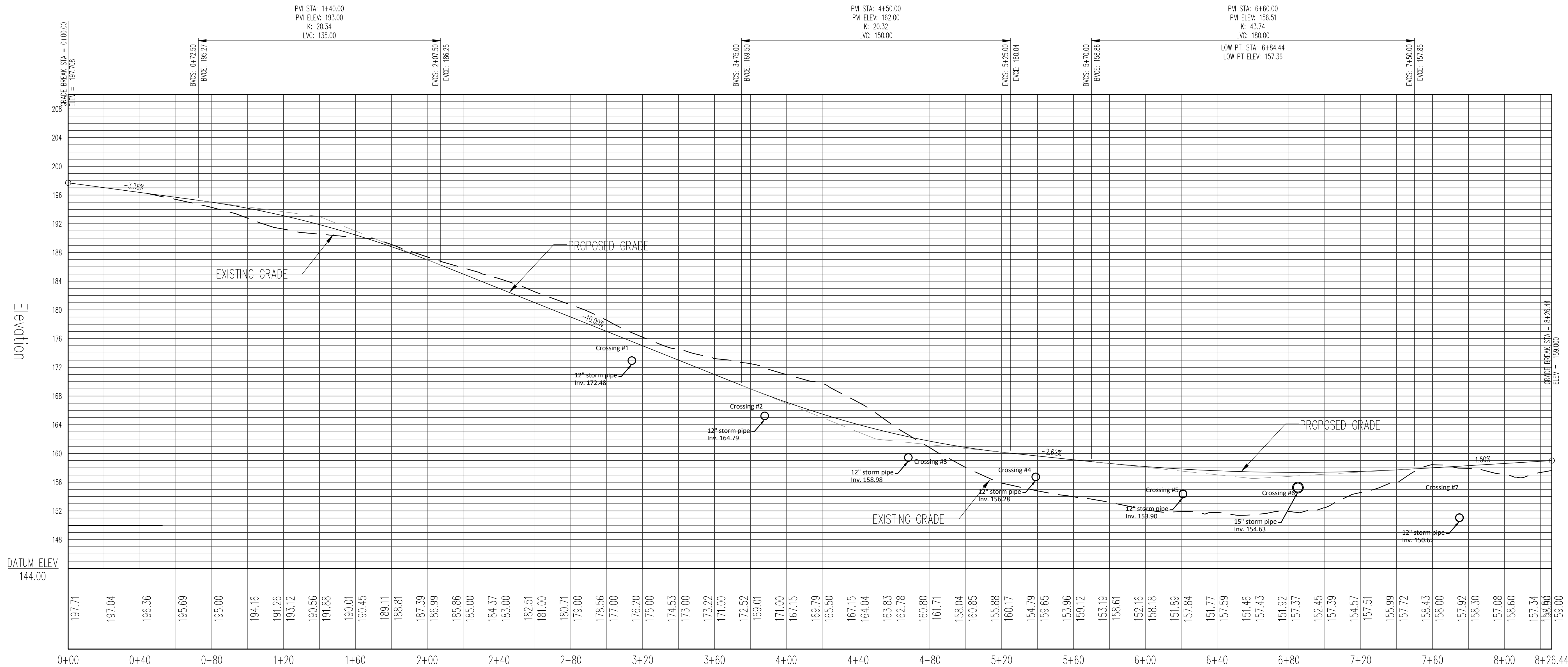
CHRISTOPHER CARRHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
KELLAND SESSIONS, P.C.
CONSULTING TOWN ENGINEERS

DE-2

Subdivision Road Profile

1



OWNER:
McKenna Custom Homes, Inc.
433 Manville Road
Pleasantville, NY 10570
Tel: (914) 769-1869

CONSULTANTS:
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Chappaqua, New York 10514
Tel: (914) 238-3555
Fax: (914) 238-3435

WELSH Engineering & Land Surveying, P.C.
12 Campwoods Grounds
Ossining, N.Y. 10562
Tel: (914) 773-1701

ISSUED:
Amended Lot 1 driveway as per house location change
Submission of SWPPP to NYCDEP
Submission to Town and NYCDEP
Submission to Town for Prelim and Final Subdivision Plan appvl
Submission to Town for Prelim and Final Subdivision Plan appvl

01/09/2015
04/09/2015
07/24/2015
10/07/2016
03/20/2020

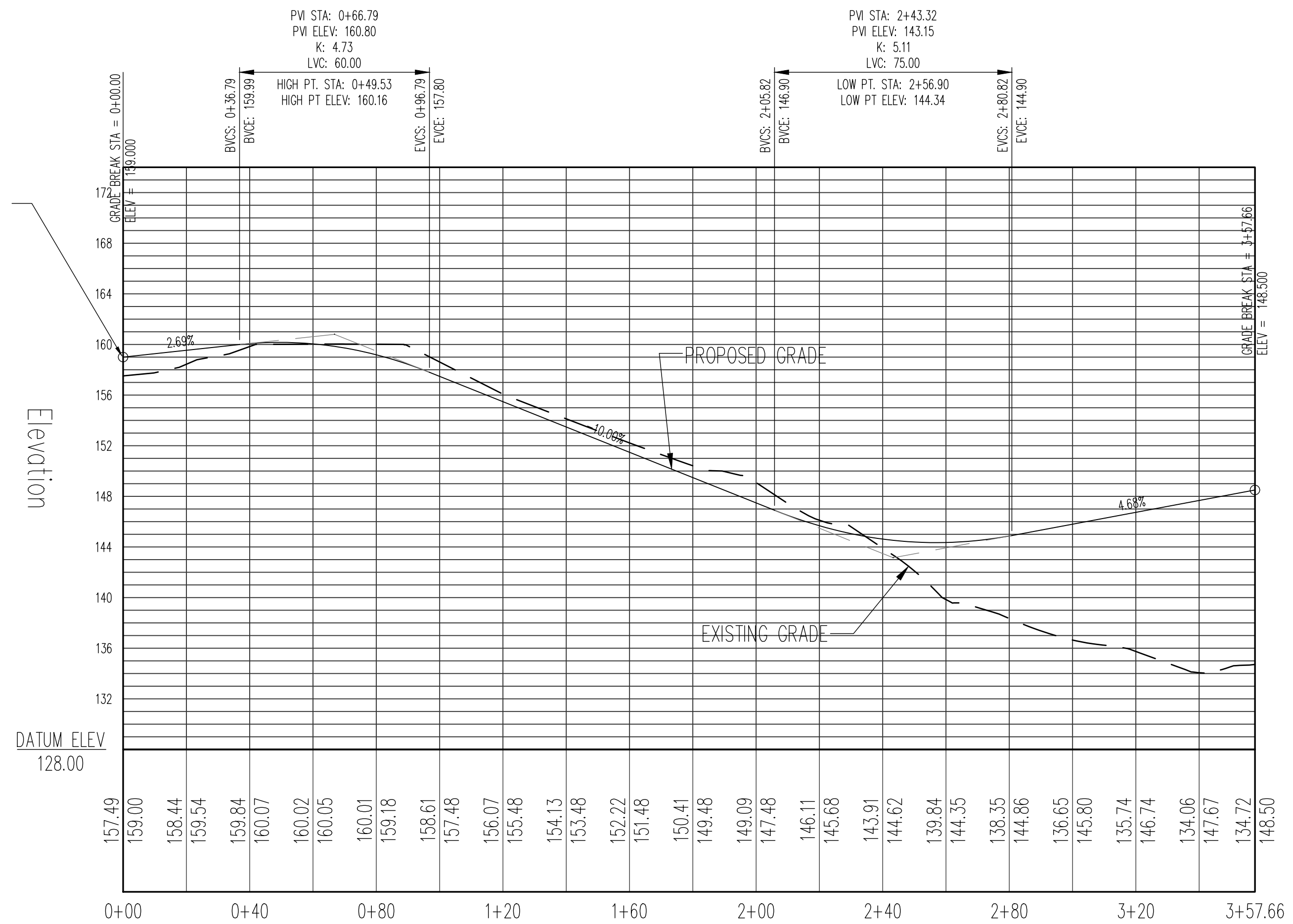
OWNERSHIP AND USE OF DOCUMENTS
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SEAL:



Lot 3 Driveway Profile

4



ENVIRONMENTAL CONSULTANT:
EVANS ASSOCIATES
ENVIRONMENTAL CONSULTING, INC.
162 Falls Road
Bethany, Connecticut 06524
Tel: (203) 393-0690

PROJECT NAME:
HIDDEN OAK SUBDIVISION
Hidden Oak Road
Town of North Castle, New York

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843, Ridgefield, CT 06877
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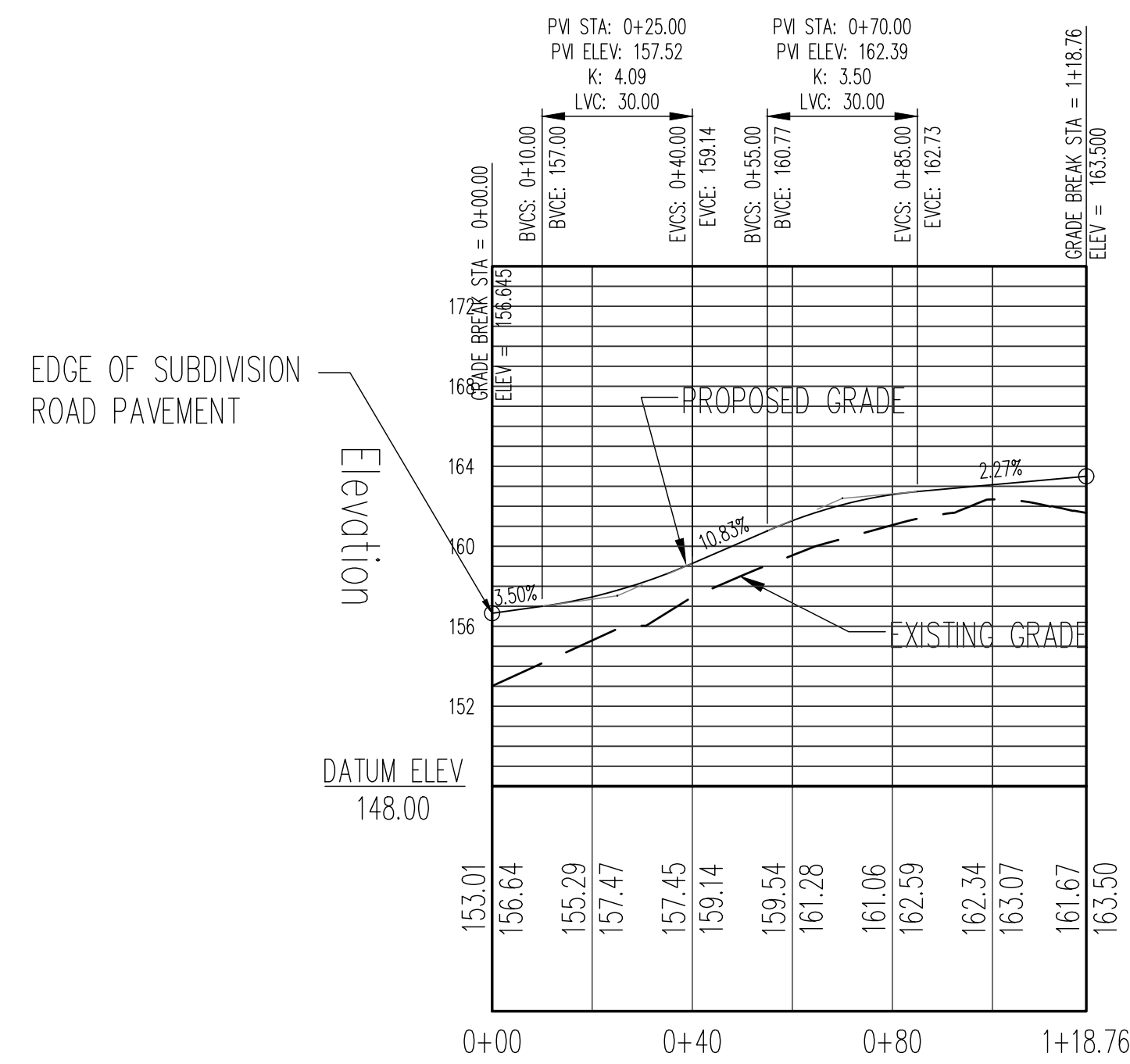
Drawing title:
Subdivision Road and Driveway Profiles

Date: November 17, 2014
Dwn by: alp
ID: 2_7_C05.31.2016

DE-3

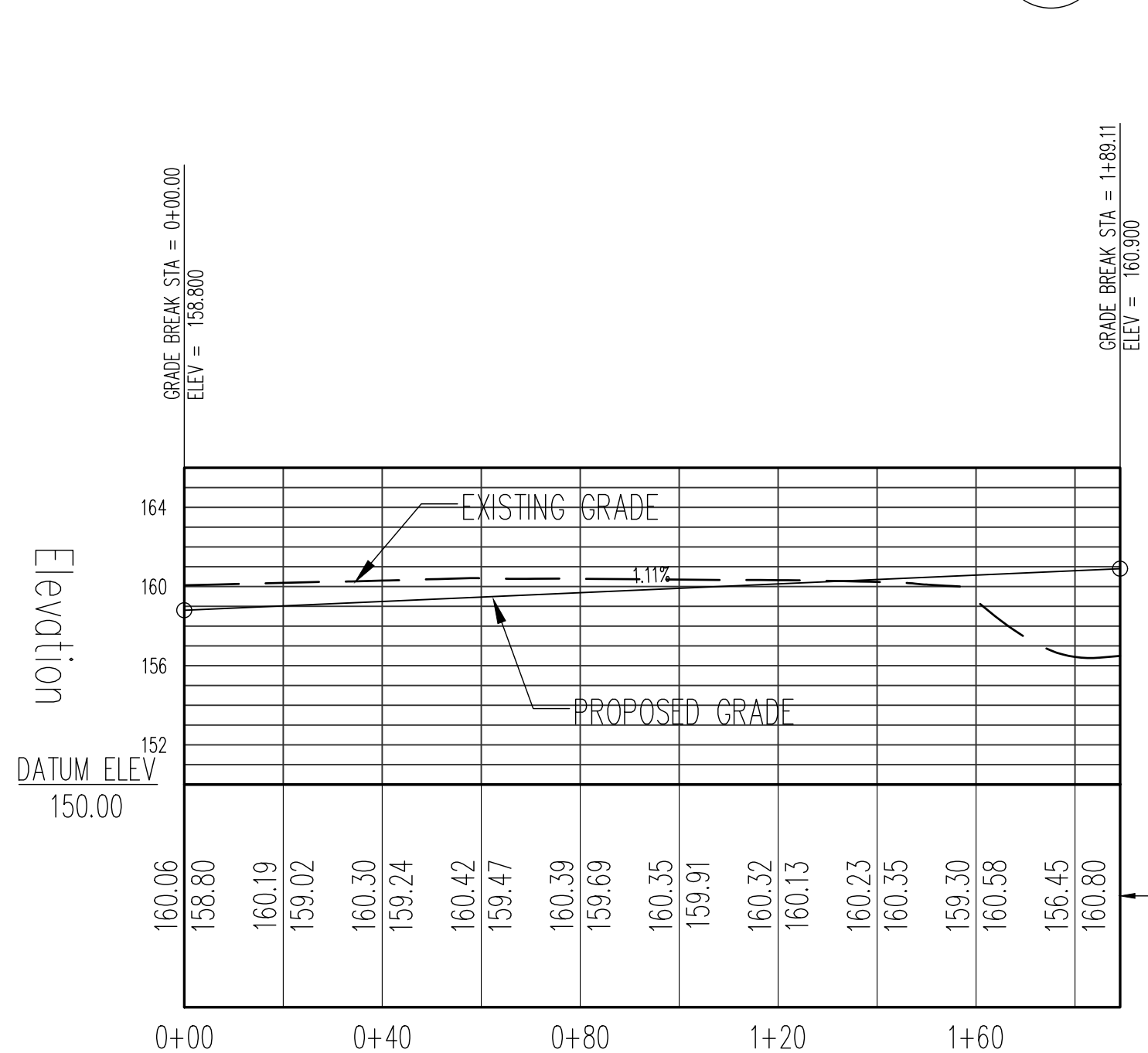
Lot 1 Driveway Profile

2



Lot 2 Driveway Profile

3



SCALE: 1" = 30' (horizontal)
1" = 7.5' (vertical)
4x vertical exaggeration

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED DEC. 12, 2016.

CHRISTOPHER CARTHAY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER
JOSEPH CERMELE, PE
KELLARD SESSIONS, P.C.
CONSULTING TOWN ENGINEERS

Civil engineer:
Alan L. Pardo
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Soil Restoration/Disturbed Areas Stabilization Protocol

As is noted above, soil restoration is a required practice applied across areas of a development site where soils have been disturbed and will be vegetated in order to recover the original properties and porosity of the soil. Soil restoration is applied in the cleanup, restoration, and landscaping phase of construction followed by the permanent establishment of an appropriate, deep-rooted groundcover to help maintain the restored soil structure.

According to the protocols of the 2010 Stormwater Management Design Manual, during periods of relatively low to moderate subsoil moisture, the disturbed subsoils are returned to rough grade and the following Soil Restoration steps applied:

- 1) Apply 3 inches of compost over subsoil.
- 2) Fill compost into subsoil to a depth of at least 12 inches using a cat-mounted ripper, tractor-mounted disc, or tiller, mixing, and circulating air and compost into subsoil.
- 3) Rock-pick until uplifted stone/rock materials of four inches and larger size are cleaned off the site.
- 4) Apply topsoil to a depth of 6 inches.
- 5) Vegetate as required by approved plan.

At the end of the soil restoration procedure, an inspector should be able to push a 3/8" metal bar 12 inches into the soil just with body weight.

Temporary Critical Area Plantings (Temporary Seeding)

When to Apply - Temporary seeding may be necessary on construction sites to protect an area, or section, where final grading is complete, when preparing for winter work shutdown, or to provide cover when permanent seedings are likely to fail due to mid-summer heat and drought. The intent is to provide temporary protective cover during temporary shutdown of construction and/or while waiting for optimal planting time.

Water management practices must be installed as appropriate for site conditions. The area must be rough graded and slopes physically stable. Large debris and rocks are usually removed. Seeded must be seeded within 24 hours of disturbance or scarification of the soil surface will be necessary prior to seeding. Fertilizer and lime are not typically used for temporary seedings.

If it is spring, summer or early fall, then seed the area with ryegrass (annual or perennial) at 30 lb per acre (Approximately 0.7 lb/1000 sq. ft. or use 1 lb/1000 sq. ft.).

If it is late fall or early winter, then seed with Certified 'Aroostook' winter rye (annual rye) at 100 lb per acre (5.5 lb/1000 sq. ft.).

Any seeding method may be used that will provide uniform application of seed to the area and result in relatively good soil to seed contact.

Mulch the seeded area with hay or straw at 2 tons/acre (approx. 90 lb/1000 sq. ft. or 2 bales). Quality of hay or straw mulch allowable will be determined based on long term use and visual concerns. Mulch anchoring will be required where wind or areas of concentrated water are of concern. Wood fiber hydromulch or other sprayable products approved for erosion control (rylon web or mesh) may be used if applied according to manufacturers specification. Caution is advised when using nylon or other synthetic products. They may be difficult to remove prior to final seeding.

Permanent Lawn Areas

NOTE REGARDING USE OF FERTILIZER ON THE PROPERTY

In accordance with Article XXVI, Restrictions on the Application and Sale of Lawn Fertilizer within the County of Westchester, Section 885.1202 Regulation of the Use and Application of Lawn Fertilizer, no person shall apply any lawn fertilizer within the County that is labeled as containing more than 0% phosphorus or other compound containing phosphorus, such as phosphate, except for newly established turf or lawn areas during their first growing season. The lawn fertilizer application shall not contain an amount of phosphorus exceeding the amount and rate of application recommended in the soil test evaluation. In subsequent years, no person shall apply any lawn fertilizer within the County that is labeled as containing more than 0% phosphorus or other compound containing phosphorus, such as phosphate, nor apply lawn fertilizer between December 1st and April 1st, nor apply lawn fertilizer to any impervious surface. If such application occurs, the fertilizer must be immediately contained and either applied to turf or placed in an appropriate container. Finally, no person shall apply lawn fertilizer to any turf or lawn area within twenty (20) feet of any surface water, except that this restriction shall not apply where a continuous natural vegetative buffer, at least ten (10) feet wide, separates a turf or lawn area and surface water.

Time of Planting Lawns - Fall planting is preferred. Seed after August 15. In the spring, plant until May 15. If seeding is done between May 15 and August 15, irrigation may be necessary to ensure a successful seeding.

Site Preparation - Disturbed soil areas are to be restored to the procedures

of the Soil Restoration/Disturbed Areas Stabilization Protocol above.

Lawn Planting and Installation - Use a cultipacker type seeder if possible. Seed to a depth of 1/8 to 1/4 inch. If seed is to be broadcast, cultipack or roll after seeding. If hydroseeded, lime and fertilizer may be applied through the seeder, and rolling is not practical.

Mulching - Mulch all seedlings in accordance with Standard and Specifications for Mulching. Shell grain straw is the best material. The following are the recommended seed mixes from Section 3, Vegetative Measures For Erosion and Sediment Control from the New York State Standards and Specifications for Erosion and Sediment Control, latest edition.

Seed Mixes For Sunny sites (well, moderately well, and somewhat poorly drained soils)

80% Kentucky bluegrass blend	1b/1000 sf	1b/acre
20% perennial ryegrass	1b/1000 sf	1b/acre
OR		
(for southern and eastern NY)		
50% Kentucky bluegrass	1b/1000 sf	1b/acre
50% perennial ryegrass	1b/1000 sf	1b/acre
OR		
100% Tall fescue, Turf-type, fine leaf	3.4-4.6	150-200

Shady dry sites (well to somewhat poorly drained soils)

65% fine fescue	1b/1000 sf	1b/acre
15% perennial ryegrass	1b/1000 sf	1b/acre
20% Kentucky bluegrass blend	1b/1000 sf	1b/acre
OR		
80% blend of shade-tolerant	2.4-3.2	105-138
Kentucky bluegrass	2.4-3.2	105-138
20% perennial ryegrass	0.6-0.8	25-37
OR		
100% Tall fescue, Turf-type, fine leaf	3.4-4.6	150-200

Fertilizer Application in the First Year - Apply fertilizer as indicated by the soil test three to four weeks after germination (spring seedlings). If test results have not been obtained, apply 1 pound nitrogen/1,000 square feet using a fertilizer. Summer and early fall seedings, apply as above unless air temperatures are above 85°F for an extended period. Wait for cooler temperatures to fertilize. Late fall/winter seedings, fertilize in spring.

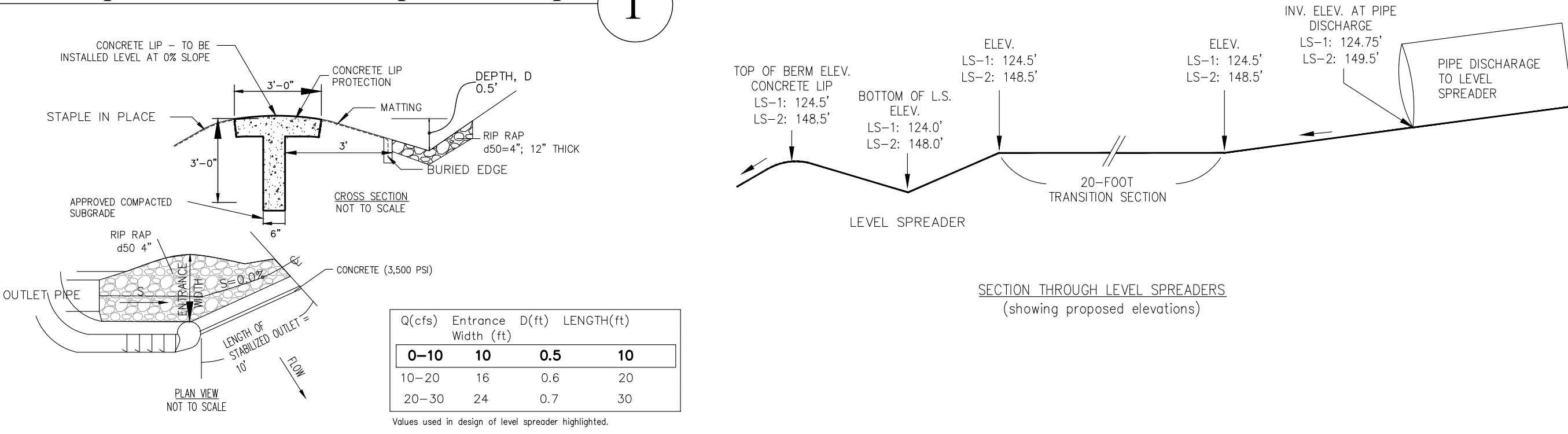
Stabilization Outside of Growing Season - If grading is performed outside of the growing season, ground stabilization is still required. Apply Floaterma FGM (Flexible Growth Medium) or approved equal to the area to be stabilized in accordance with the manufacturer's specifications. The application guide for Floaterma is as follows:

A. Strictly comply with equipment Manufacturer's installation instructions and recommendations. Use approved hydro-spraying machines with fan-type nozzle (50-degree tip) whenever possible to achieve best soil coverage. Apply from opposing directions to assure 100% soil surface coverage. Slope interruption devices or water diversion techniques are recommended according to the slope interruption limits table on the back. B. To ensure proper application rates, measure and stake area. For maximum performance, apply in a two-step process: 1. Apply specified prescriptive agronomic formulations along with 50% of seed with a small amount of SMM, BFM, FGM or ET-FGM for visual seeding. 2. Mix balance of seed and apply SMM, BFM, FGM or ET-FGM at a rate of 50 pounds per 125 gallons (see mixing section on the back for details) of water over newly seeded surfaces. See loading chart on the back and confirm loading rates with equipment manufacturer. Do not leave seeded surfaces unprotected, especially if precipitation is imminent. C. Fill 1/3 of mechanically agitated hydroseeder with water. Turn pump on for 15 seconds and purge and pre-wet lines. Turn pump off. D. Turn agitator on and load low density materials first (i.e., seed). E. Continue slowly filling tank with water while loading fiber matrix into tank. F. Consult loading chart on the back to determine the number of bags to be added for desired area and application rate. G. SMM, BFM, FGM or ET-FGM should be completely loaded before water level reaches 75% of the top of tank. H. Top off with water and mix until all fiber is fully broken apart and hydrated (minimum of 10 minutes). Increase mixing time when applying in cold conditions. This is very important to fully activate the bonding additives and to obtain proper viscosity. I. Add fertilizer. J. Shut off recirculation valve to minimize potential for air entrainment within the slurry. K. Slow down agitator and start applying with a 50-degree fan tip nozzle. L. Spray in opposing directions for maximum soil coverage.

* Depending on site conditions, SMM, BFM, FGM or ET-FGM may be applied in a one-step process where all components may be mixed together in single tank loads. Consult with Manufacturer for further details.

* Do not add tackifiers or polymers.

Level Spreader with Conc. Lip at 0% Slope



CONSTRUCTION SPECIFICATIONS

1. THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 6 INCHES OVER THE LIP AND BURNED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOIL AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.
2. ENSURE THAT THE CONCRETE CURB UP IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
3. THE LIP SHALL BE CONSTRUCTED ON UNDISTURBED SOIL NOT FILL.
4. A 20 FOOT TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
5. THE RUNOFF DISCHARGE WILL BE OUTLETED ONTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
6. SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.
7. CALCULATED Q VALUE FOR 100-YR STORM IS LESS THAN 10 CFS.

BASED ON A DETAIL PREPARED BY:
U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOL & WATER CONSERVATION COMMITTEE

NOTES

LEVEL SPREADER LS-1, DESIGNED TO THE ANTICIPATED FLOWS FROM THE 100 YEAR STORM EVENT (6.94 CFS) SHALL HAVE THE FOLLOWING DESIGN PARAMETERS:
ENTRANCE WIDTH = 10 FEET, DEPTH (D) = 6", LENGTH = 10 FEET.

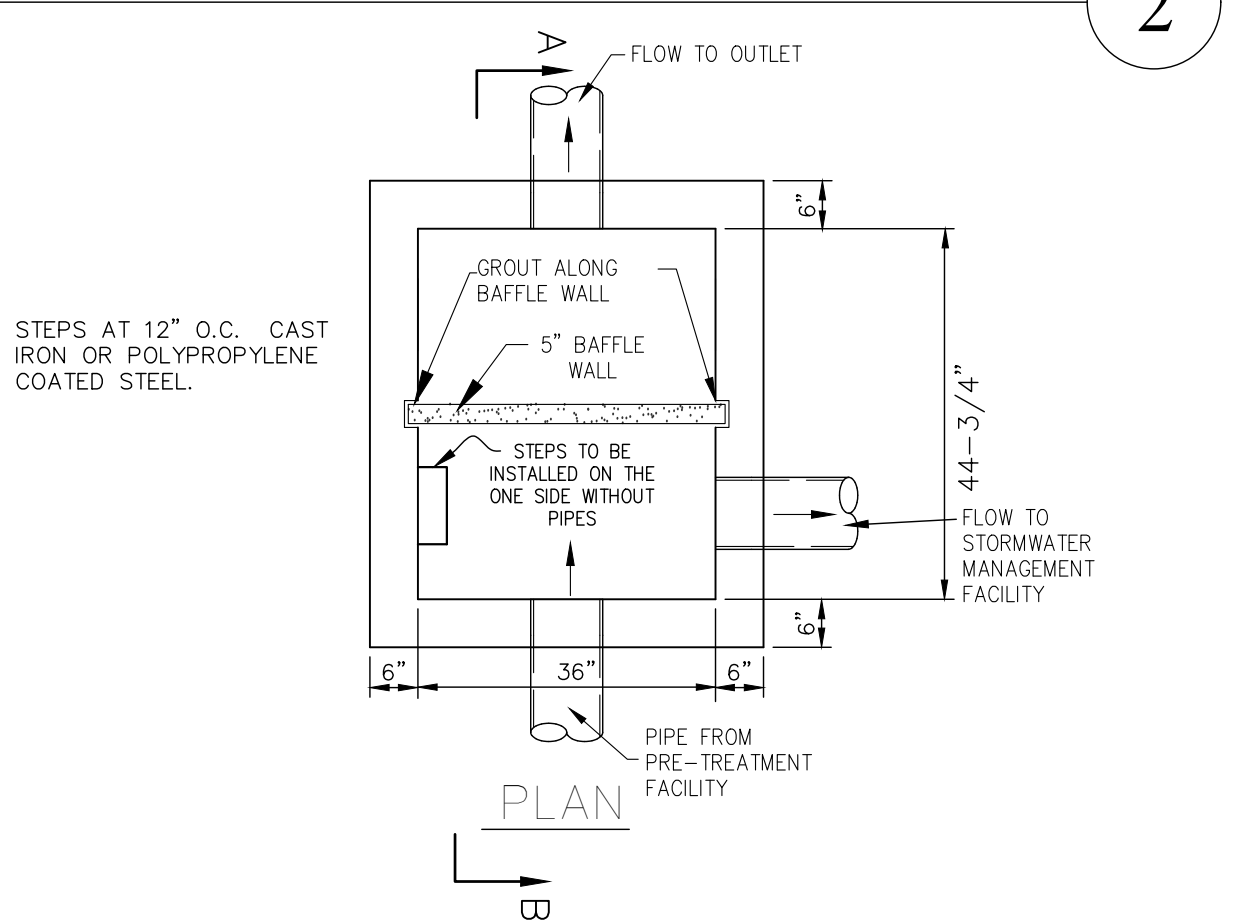
LEVEL SPREADER LS-2, DESIGNED TO THE ANTICIPATED FLOWS FROM THE 100 YEAR STORM EVENT (6.53 CFS) SHALL HAVE THE FOLLOWING DESIGN PARAMETERS:
ENTRANCE WIDTH = 10 FEET, DEPTH (D) = 6", LENGTH = 10 FEET.

LEVEL SPREADER LS-3, DESIGNED TO THE ANTICIPATED FLOWS FROM THE 100 YEAR STORM EVENT (0.75 CFS) SHALL HAVE THE FOLLOWING DESIGN PARAMETERS:
ENTRANCE WIDTH = 10 FEET, DEPTH (D) = 6", LENGTH = 10 FEET.

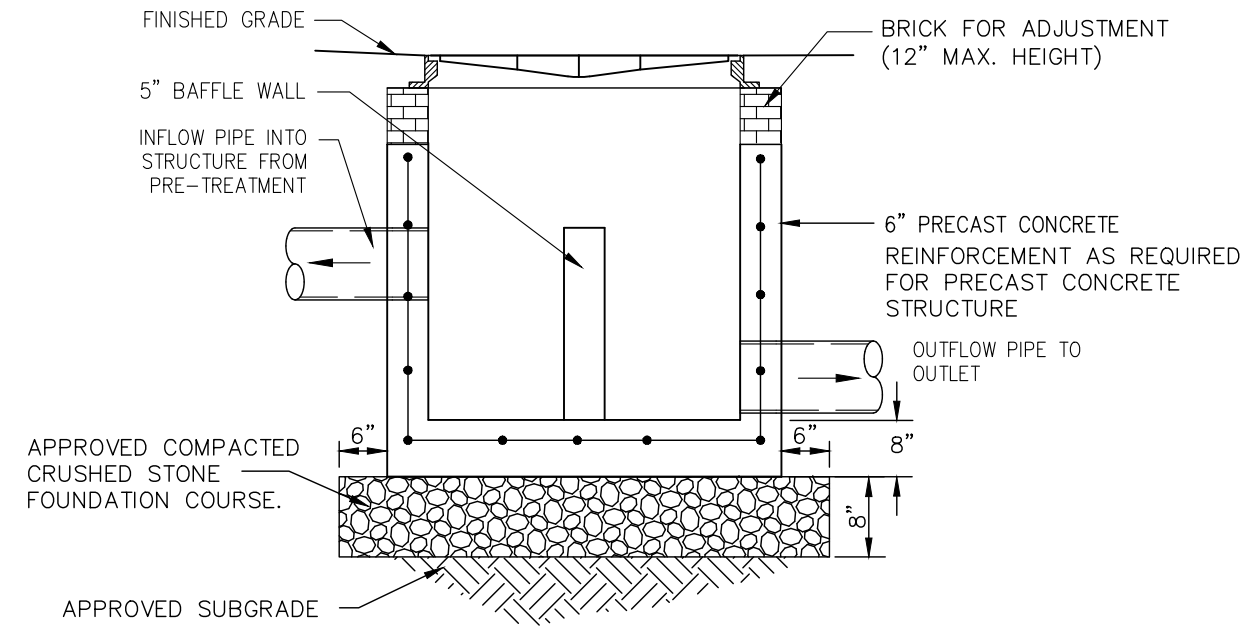
GRADED AREAS WITHIN AND SURROUNDING THE LEVEL SPREADER SHALL BE STABILIZED WITH PERMANENT CRITICAL AREA PLANTINGS AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL. PENNILE/LINN REGRESS (PERENNIAL) INSTALLED AT A 0.1 LB/1,000 SQUARE FEET AND MULCHED WITH STRAW MULCH IS RECOMMENDED.

Off-Line Diversion Structure DIV-L1

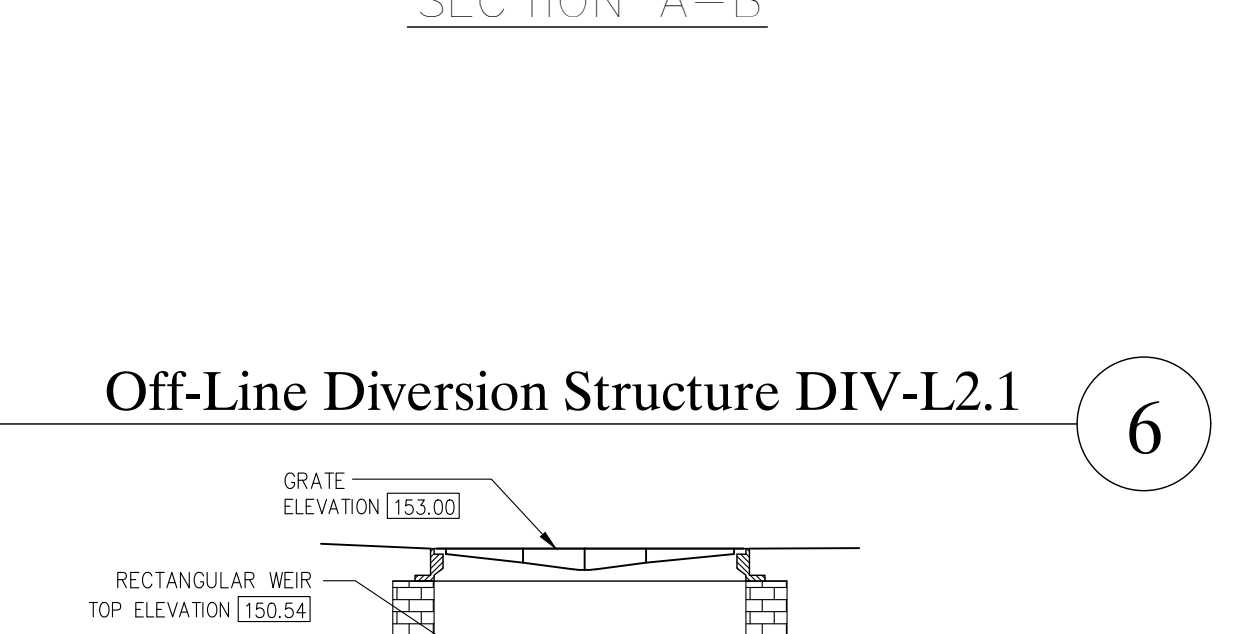
General Off-Line Diversion Structure



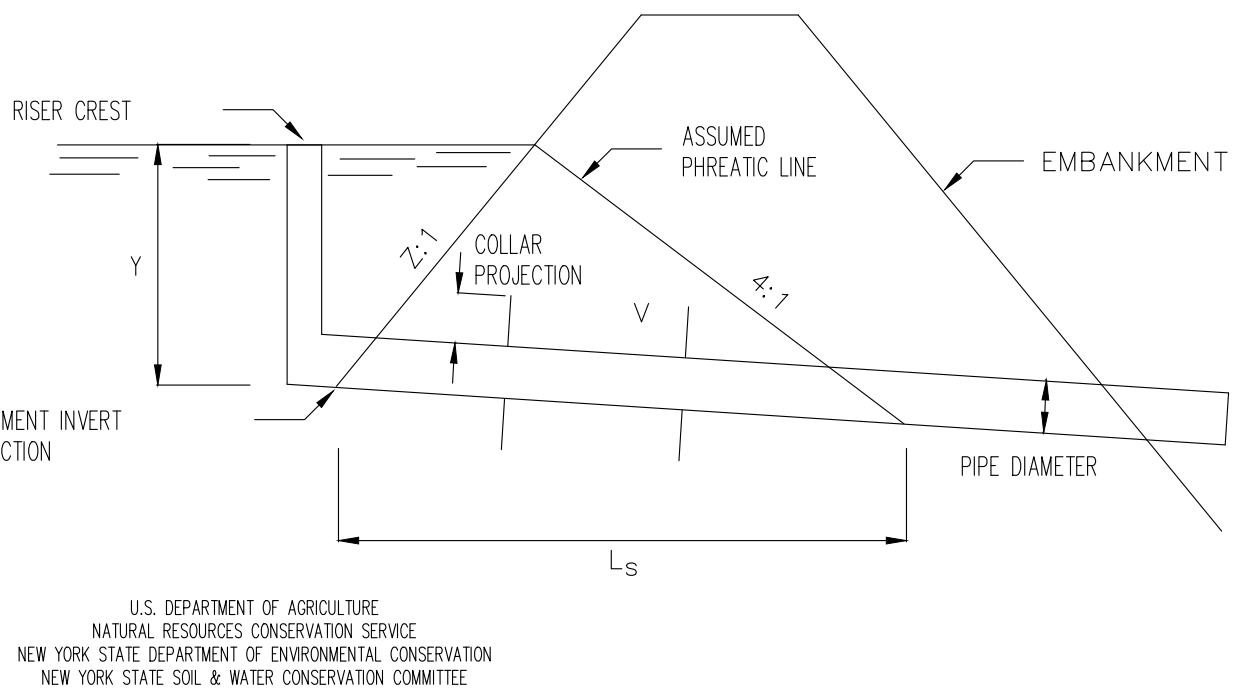
Off-Line Diversion Structure DIV-L2.1



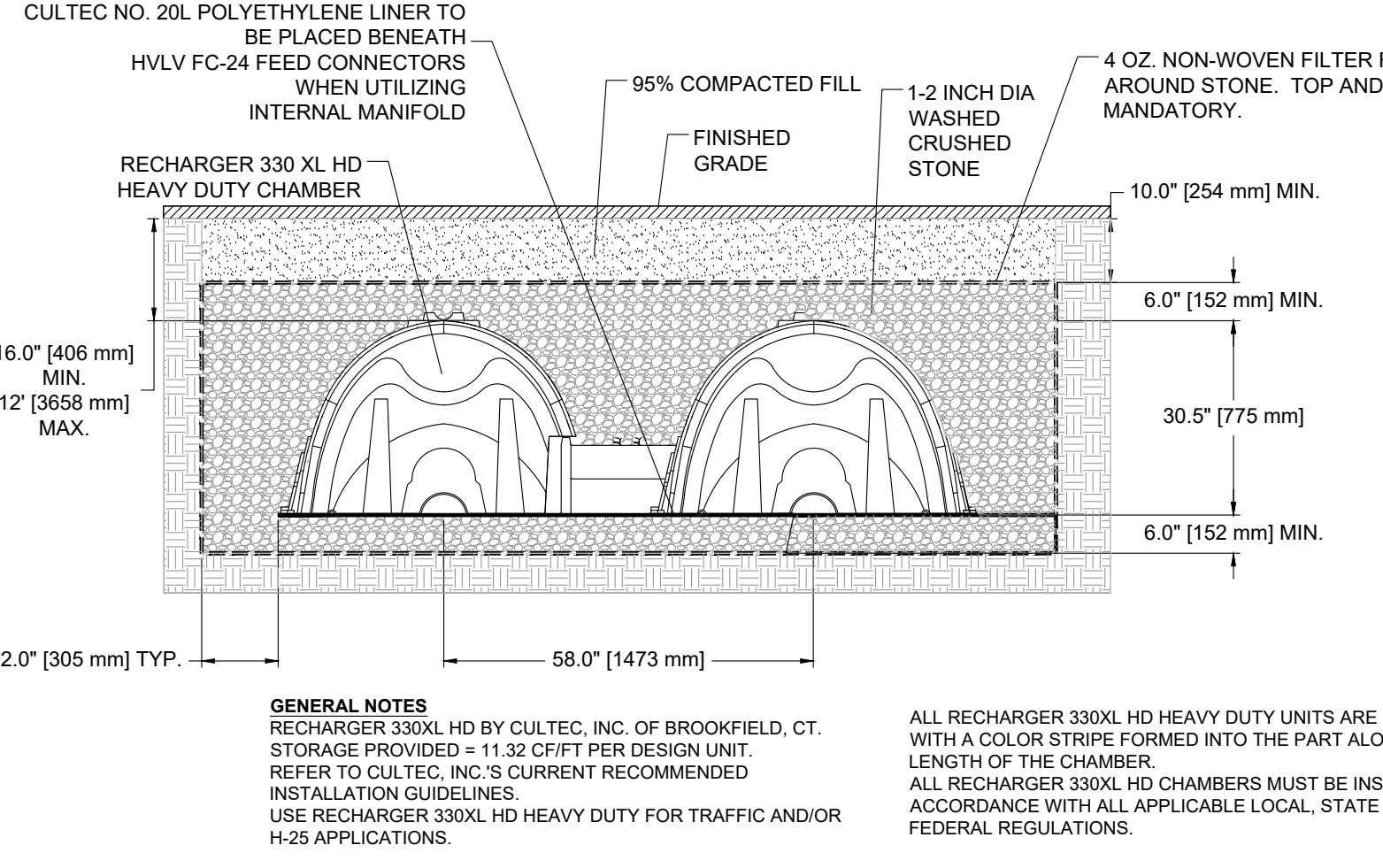
Off-Line Diversion Structure DIV-L2.2



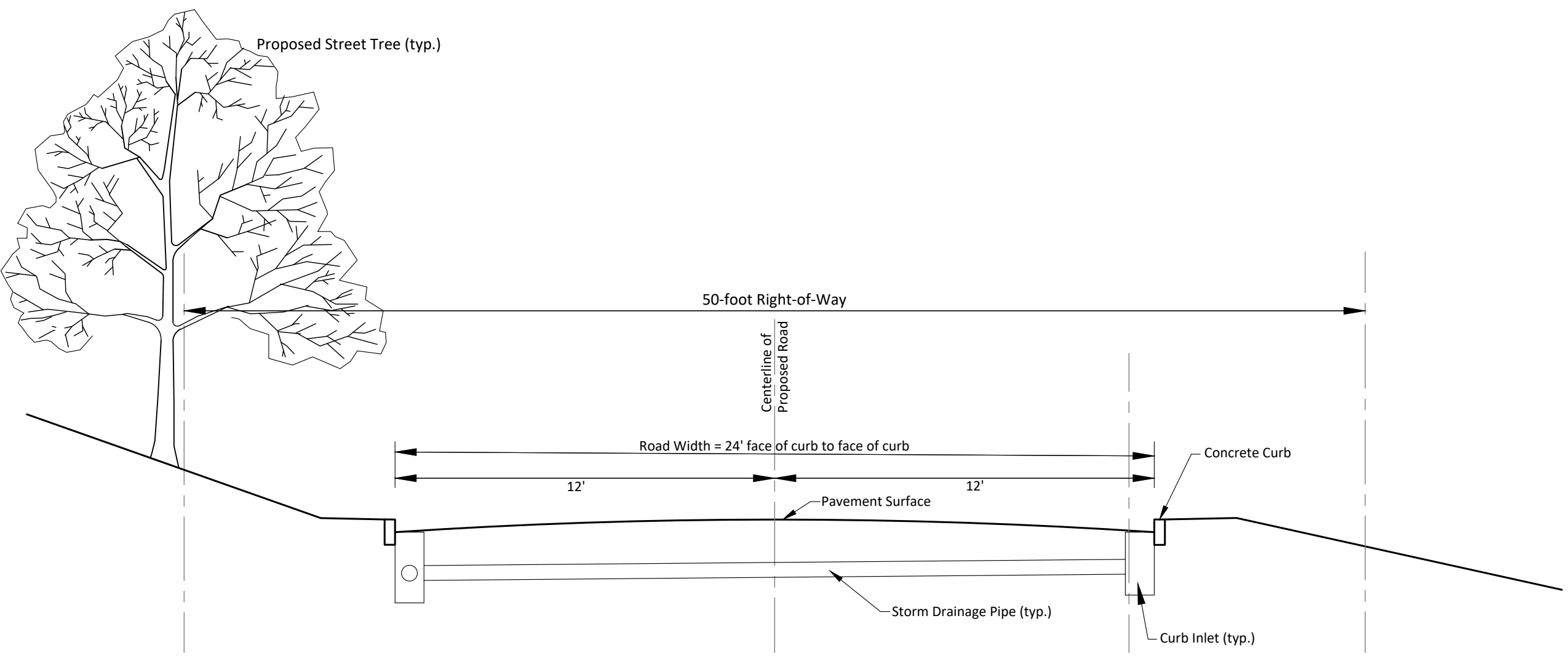
Anti-Seep Collar Design



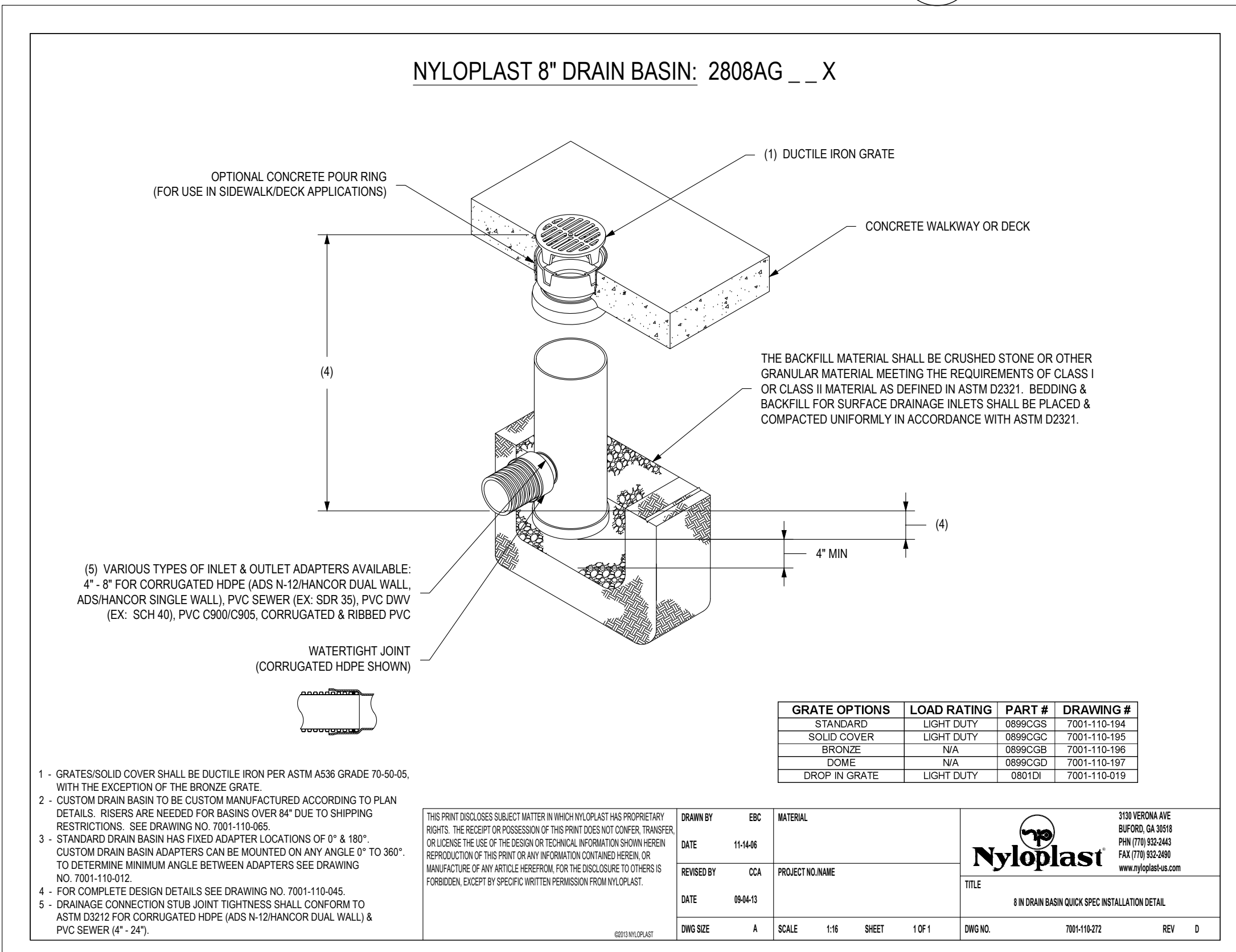
Cultec 330XLHD Chamber Installation



Proposed Road Cross-Section



Pool Area Drain (typ.)



OWNER:
McKenna Custom Homes, Inc.
433 Marvino Road
Pleasantville, NY 10570
Tel: (914) 769-1869

CONSULTANTS:
CAMPBELL ENGINEERING, LLP
160 King Street
P.O. Box 255
Chappaqua, New York 10514
Tel: (914) 238-3555
Fax: (914) 238-3435

WELSH Engineering & Land Surveying, P.C.
12 Campwoods Grounds
Ossining, N.Y. 10562
Tel: (914) 773-1701

ISSUED:
Submission to Town and NYCDP: 07/24/2015
Submission to Town and NYCDP: 12/15/2015
Submission to Town and NYCDP: 03/01/2016
Submission to Town for final subdivision approval: 06/30/2016
Submission to Town for Prelim & Final Subdivision Plan appl: 10/07/2016
Submission to Town for Prelim & Final Subdivision Plan appl: 03/20/2020

OWNERSHIP AND USE OF DOCUMENTS
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 220(2) OF THE NEW YORK STATE EDUCATION LAW.
No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

SEAL:



ENVIRONMENTAL CONSULTANT:
EVANS ASSOCIATES
ENVIRONMENTAL CONSULTING, INC.
162 Falls Road, Bethany, Connecticut 06524
Tel: (203) 393-0690

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843, Ridgefield, CT 06877
Direct Tel: (475) 215-5343 Cell: (203) 710-0587

PROJECT NAME:
HIDDEN OAK SUBDIVISION
Hidden Oak Road
Town of North Castle, New York

Drawing title:
Construction Details/
Erosion Control Notes

Date: April 9, 2015
Dwn. by: alp
ID: 2.7_C05.31.2016

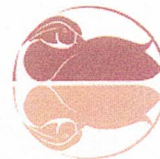
APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED DEC. 12, 2016.

CHRISTOPHER CARRHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
KELLARD SESSIONS, P.C.
CONSULTING TOWN ENGINEERS

DE-4



ALP Engineering
& Landscape Architecture, PLLC

March 20, 2020

Hon. Christopher Carthy, Chairman and Members of the Planning Board
Town of North Castle
17 Bedford Road
Armonk, NY 10504

**RE: Hidden Oak Conservation Subdivision
Hidden Oak Road
Town of North Castle (Armonk Hamlet), New York
Section 107.01, Block 1, Lot 31**

Dear Chairman Carthy and Members of the Planning Board:

We are pleased to submit six (6) copies (1 set of full size – 30” x 42”, and 5 sets of 11” x 17” drawings) of the following plans and documents in support of the application on behalf of McKenna Custom Homes of Pleasantville, N.Y. for Preliminary and Final Conservation Subdivision Approval for three single family homes:

Drawings being submitted for Preliminary and Final Subdivision Approval include the following:

<u>Drawing No.</u>	<u>Drawing Title</u>	<u>Date</u>
CS-1	Cover Sheet	03/20/2020
IPP-1	Site Layout Plan	03/20/2020
S-2	Site Grading and Utilities Plan	03/20/2020
S-3.1	Erosion and Sediment Control Plan/ Tree Removal & Protection Plan – Phase 1	03/20/2020
S-3.2	Erosion and Sediment Control Plan/ Tree Removal & Protection Plan – Phase 2	03/20/2020
S-4	Slopes Map	03/20/2020
S-5	Landscape Plan	03/20/2020
DE-1	Construction Details	03/20/2020
DE-2	Construction Details	03/20/2020
DE-3	Subdivision Road and Driveway Profiles	03/20/2020
DE-4	Erosion Control/Restoration Notes/Trees	03/20/2020
DE-5	Construction Details / Maintenance Plan	03/20/2020

P.O. Box 843 Ridgefield, CT 06877
EAEC Office: 162 Falls Road Bethany, CT 06524
Direct: (475) 215-5343 Mobile: (203) 710-0587
EAEC Tel: (203) 393-0690 x114
Email: alan@eaec-inc.com



In addition, to the drawings noted above, appended to the set are the following three drawings for the septic system on the three lots and the water main extension that were prepared by Campbell Engineering.

<u>Drawing No.</u>	<u>Drawing Title</u>	<u>Date</u>
IPP-1	Integrated Plot Plan	09/06/2016
D-1	3 Lot Subdivision Site Plan Profiles and Details	06/30/2016
D-2	3 Lot Subdivision Site Plan Details	06/30/2016

In addition, we are pleased to submit six copies of the following application forms, calculation worksheets, and figures for Preliminary Subdivision Approval and Final Subdivision Approval:

- Application for Preliminary Subdivision Approval form, dated 02/25/2020;
- Application for Final Subdivision Approval form, dated 02/25/2020;
- Short Environmental Assessment Form, dated 02/25/2020.
- Six copies of the Hidden Oak Conservation Subdivision Tree Survey, dated 01/09/2015.
- Six copies of the drawing entitled Preliminary Plat Hidden Oak Subdivision Proposed Lots 1, 2 & 3, prepared by William J. Welsh, L.S., dated 08/07/2016.
- Six copies of a letter from Mary P. Galasso, NYCDEP dated June 6, 2016 indicating approval of the application to engage in a regulated activity (i.e. SWPPP report).

This property was the subject of a Conservation Subdivision application commencing about 6 years ago. The application was to create three single family lots on a 7.69 acre property at the south end of Hidden Oak Road. The Planning Board granted Preliminary Conservation Subdivision Plat Approval, as well as Steep Slope Permit and Tree Removal Permit approvals on February 9, 2015; Final Conservation Subdivision Plat Approval, Steep Slope Permit and Tree Removal Permit approvals were granted by the Planning Board on December 12, 2016. Unfortunately, the approvals have lapsed.

Therefore, on behalf of McKenna Custom Homes, Inc., our office is submitting this application for both Preliminary and Final Conservation Subdivision Approval for the same three lot subdivision.

Design of the Proposed Subdivision

The proposal is for a Conservation Subdivision which will subdivide the subject 7.69-acre property into three single family house lots. The three lots to be created are as follows: Lot 1 (1.863 acres), Lot 2 (1.920 acres), and Lot 3 (2.045 acres). The road right-of-way will encompass a total of 0.864 acres. Finally, the proposed Conservation Lands will include 0.994 acres of the property.



The project site is bounded by private residences and lands of the City of New York to the west, and lands of the City of New York to the north, south and east. The property is presently wooded with second growth trees. There are no wetlands, either Town or State regulated, on or immediately adjacent to the property. About 175 feet to the east of the property is a watercourse that eventually flows southward to the Kensico Reservoir.

Since the property contains no wetlands or watercourses, or other unique landforms, the principal lands to protect as open space are located on the project perimeter, specifically those lands within the property more directly drain to the Kensico Reservoir. These include the reservoir stem to the southeast of the site, and the lands to the south and west which are under the ownership of the New York City Department of Environmental Protection (NYCDEP). The Conservation Subdivision proposes to protect as open space virtually all of the lands within the offset from the reservoir stem, and a 50-foot wide strip along the western boundary of the site where it abuts lands of the NYCDEP. Along the southerly boundary of the property, the Conservation Lands are 10 feet in width so as to provide a physical connection between the westerly and easterly portions of the Conservation Lands.

We look forward to discussing this with the Planning Board. Should you have any comments or questions regarding the enclosed submission, please feel free to call us at (475) 215-5343.

Very truly yours,

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

Alan L. Pilch, P.E., R.L.A.
Principal

cc: Kevin McKenna (w/encl.)



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Preliminary Subdivision Approval

Application Name

Hidden Oak Subdivision

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: McKenna Custom Homes, Inc.

Mailing Address: 433 Manville Road, Pleasantville, NY 10570

Telephone: (914) 769-1869 Fax: (914) 769-8575 e-mail info@mckennacustom.com

Name of Applicant (if different): not applicable

Address of Applicant: _____

Telephone: _____ Fax: _____ e-mail _____

Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes

☐

No

☐

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:

Alan L. Pilch, PE, RLA, ALP Engineering & Landscape Architecture, PLLC

Address: P.O. Box 843, Ridgefield, CT 06877

Telephone: (475) 215-5353 Fax: _____ e-mail alan@eaec-inc.com

Name of Other Professional: Bill Welsh PE, LS, Welsh Engineering & Land Surveying, PC

Address: 12 Campwoods Grounds, Ossining, NY 10562

Telephone: (914) 497-9981 Fax: _____ e-mail bwelsh@welshpc.com

Name of Attorney (if any): _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

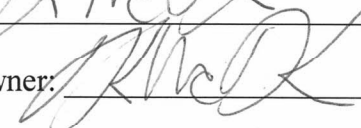
It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:



Date: 02/25/2020

Signature of Property Owner:



Date: 02/25/2020

Must have both signatures

II. IDENTIFICATION OF SUBJECT PROPERTY

Property Street Address: 13 Hidden Oak Road

Location (in relation to nearest intersecting street):

1,200 feet (north, south, east or west) of Bayberry Rd - Hidden Oak Road intersection

Abutting Street(s): Hidden Oak Road

Tax Map Designation (NEW): Section 107.01 Block 1 Lot 31.2

Tax Map Designation (OLD): Section 2 Block 1K Lot 10

Zoning District: R-2A Total Land Area 7.69 acres

Land Area in North Castle Only (if different) not applicable

Fire District(s) Armonk F.D. School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No _____ Yes (adjacent) _____ Yes (within 500 feet) X

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No X Yes _____

If yes, please identify the tax map designation of that property:

not applicable

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Subdivision proposed: Conventional _____ Conservation X

Total Number of Lots Proposed on Preliminary Subdivision Plat: 3

Total Number of Lots Proposed in North Castle Only (if different): _____

Are any new streets proposed? No _____ Yes X

Has the center line of each proposed street been staked? No _____ Yes X

If no, please indicate the date by which such center lines will be staked: _____

Have the corners of each proposed lot been identified with appropriate stakes? No _____ Yes X

If no, please indicate the date by which such lot corners will be staked: _____

Are any waivers from the provisions of Chapter 355 (Zoning) or Chapter 275 (Subdivision of Land) of the North Castle Town Code requested? No X Yes _____

If yes, please specify type: _____

Earthwork Balance: Cut 2,400 C.Y. Fill 2,400 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The preliminary subdivision application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the preliminary subdivision application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary subdivision checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the preliminary subdivision application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both checks made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON PRELIMINARY SUBDIVISION PLAT

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the preliminary subdivision plat and preliminary construction plans for the Planning Board to review his/her proposal. Applicants are advised to review Chapter 275 of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for preliminary subdivision plat approval.

The information required to be shown on the preliminary subdivision plat and the preliminary construction plans may be combined and shown on one plan to be identified as the Integrated Plot Plan. Whether this information is presented on one or two different plans, the application for preliminary subdivision plat approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**.

The information to be included on an Integrated Plot Plan shall include:

- ☒ Name of the proposed subdivision or other identifying title and signature block.
- ☒ Name and address of the Property Owner and the Applicant (if different).
- ☒ Name, address and telephone number of the surveyor, engineer or other legally qualified professional and the seal of the professional who prepared the plan.
- ☒ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- ☒ Existing zoning, fire district, school district, special district and municipal boundaries.
- ☒ Names of existing streets
- ☒ Total acreage of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; name and width of existing streets; and lines of existing rights-of-way, reservations, easements and areas dedicated to public uses.
- ☐ n.a. Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established .
- ☒ Schedule of minimum zoning requirements, as well as the proposed lots' compliance with those requirements, including lot area, frontage, lot width, lot depth, building coverage, yards and other pertinent requirements.
- ☒ Site location map, at a scale of one (1) inch equals eight hundred (800) feet, showing the Applicant's entire property in relation to surrounding properties, streets, etc. within five hundred (500) feet of the site.
- ☒ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notations identifying the revisions.
- ☒ Existing topographical contours with a vertical interval of two (2) feet or less.

- ✓ Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.
- ✓ Location of temporary stakes in the field to enable the Planning Board to find and appraise features of the preliminary plat.
- ✓ Location of existing use and design of buildings and other structures.
- ✓ Location of all other existing site improvements, including pavement, walks, curbing, retaining wall and fences.
- ✓ Location and sizes of existing water supply, sanitary sewage disposal, storm water drainage and other utility lines and structures within and nearby the proposed subdivision.
- ✓ Location of all existing monuments.
- ✓ Proposed arrangement of lots, including identifying numbers and approximate area and dimensions of each.
- ✓ Proposed layout of new streets, including sight distance at all proposed road intersections, widths and approximate curve radii, and any proposed rights-of-way, easements, deed restrictions, covenants and/or reservations.
- n.a. Location, size and nature of any area proposed to be reserved for park purposes.
- ✓ Proposed system for the provision of water supply and fire protection facilities, sanitary sewage disposal facilities, storm water drainage facilities and other utility services.
- ✓ Proposed street profiles and cross-sections showing the approximate grade of proposed streets, the relationship of existing grades to proposed grades and the proposed vertical curvature along the center line of all new streets.
- ✓ Proposed names for new streets.
- ✓ Location of proposed monuments.
- n.a. Where the preliminary plat includes only a portion of the Applicant's contiguous holding, the Applicant shall also indicate on a sketch, at a scale of not less than one (1) inch equals two hundred (200) feet, the probable future street system, lot arrangement, and location of park and other reservations for the remaining portion of the tract and topographic data with vertical contour interval of not more than ten (10) feet.
- n.a. For all proposed subdivision plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- ✓ For all proposed subdivision plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- n.a. For all proposed subdivision plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Final Subdivision Approval

Application Name

Hidden Oak Subdivision

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: McKenna Custom Homes, Inc.

Mailing Address: 433 Manville Road, Pleasantville, NY 10570

Telephone: (914) 769-1869 Fax: (914) 769-8575 e-mail info@mckennacustom.com

Name of Applicant (if different): not applicable

Address of Applicant: _____

Telephone: _____ Fax: _____ e-mail _____

Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes

☐

No

☐

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:

Alan L. Pilch, PE, RLA, ALP Engineering & Landscape Architecture, PLLC

Address: P.O. Box 843, Ridgefield, CT 06877

Telephone: (475) 215-5353 Fax: _____ e-mail alan@eaec-inc.com

Name of Other Professional: Bill Welsh PE, LS, Welsh Engineering & Land Surveying, PC

Address: 12 Campwoods Grounds, Ossining, NY 10562

Telephone: (914) 497-9981 Fax: _____ e-mail bwelsh@welshpc.com

Name of Attorney (if any): _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: _____

Date: 02/25/2020

Signature of Property Owner: _____

Date: 02/25/2020

Must have both signatures

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: Hidden Oak Road

Location (in relation to nearest intersecting street):

1,200 feet (north, south, east or west) of Bayberry Rd - Hidden Oak Rd intersection

Abutting Street(s): Hidden Oak Road

Tax Map Designation (NEW): Section 107.01 Block 1 Lot 31.2

Tax Map Designation (OLD): Section 2 Block 1K Lot 10

Zoning District: R-2A Total Land Area 7.69 acres

Land Area in North Castle Only (if different) not applicable

Fire District(s) Armonk F.D. School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No _____ Yes (adjacent) _____ Yes (within 500 feet) X

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No X Yes _____

If yes, please identify the tax map designation of that property:

not applicable

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Subdivision proposed: Conventional _____ Conservation X

Total Number of Lots Proposed on Final Subdivision Plat: 3

Total Number of Lots Proposed in North Castle Only (if different): _____

Is the final subdivision plat in conformance with the approved preliminary subdivision plat?

No _____ Yes X

If no, please identify any differences between the two plats _____

Are any waivers from the provisions of Chapter 355 (Zoning) or Chapter 275 (Subdivision of Land) of the North Castle Town Code requested? No X Yes _____

If yes, please specify type: _____

Earthwork Balance: Cut 2,400 C.Y. Fill 2,400 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The final subdivision plat application package shall include all materials submitted in support of the application, including but not limited to the application form, final plat, final construction plans, Coverage Calculations Worksheet for each lot, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the final subdivision application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed final subdivision checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the final subdivision application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account fee, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

During the course of review of this application, the Applicant may be requested to supply additional copies of the final subdivision plat application package for referral to other agencies as determined to be necessary by the Planning Board or its designated representatives.

(continued next page)

V. INFORMATION TO BE INCLUDED ON THE FINAL SUBDIVISION PLAT

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the final subdivision plat and final construction plans for the Planning Board to review his/her proposal. Applicants are advised to review Chapter 275 of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for final subdivision plat approval.

The information required to be shown on the final subdivision plat and the final construction plans may be combined and shown on one plan to be identified as the Integrated Plot Plan. The application for final subdivision plat approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**.

The information to be included on the final subdivision plat shall include:

- ☒ Name of the proposed subdivision or other identifying title.
- ☒ Name and address of the Property Owner and the Applicant (if different).
- ☒ Name, address and telephone number of the surveyor, engineer or other legally qualified professional who prepared the plan as well as the seal of the professional preparing the plan
- ☒ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- ☒ Location and dimensions of all boundary lines of the proposed subdivision and all existing and proposed streets, lot lines, easements and rights-of-way, with sufficient data to readily determine the location, bearing and length of all such lines and to reproduce such lines upon the ground.
- ☒ Names of all existing and proposed streets .
- ☒ Locations of all water bodies, watercourses and other wetlands.
- ☒ Location of all proposed Clearing and Grading Limit Lines.
- ☒ Location of all existing buildings, including identification of all buildings to be removed as a condition of approval.
- ☒ Total acreage included in the entire subdivision, and the identification number and acreage of all lots and land reservations within the proposed subdivision.
- ☒ Location of all existing and proposed monuments.
- ☒ Site location map, at a scale of one (1) inch equals eight hundred (800) feet, showing the Applicant's entire property in relation to surrounding properties, streets, etc. within five hundred (500) feet of the site.
- ☒ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notations identifying the revisions.
- ☒ Notations explaining any drainage, sight, slope, road widening, park area or other reservations or easements, including any self-imposed restrictions or covenants.
- ☒ Endorsement of approval by the Westchester County Department of Health
- ☒ Signature block for Planning Board endorsement of approval.

The information to be included on the final construction plans shall include the following:

- ✓ Plans and profiles showing the location and a typical cross-section of street pavements, including curbs and gutters, sidewalks, manholes and catch basins; the location of street trees, street lighting and street signs; the location, size and invert elevations of existing and proposed sanitary sewers, storm water drains and fire hydrants; the location and size of all water, gas or other underground utilities or structures; and the location and design of any other required improvements.
- ✓ Profiles showing existing and proposed elevations along the center line of all streets. Where a proposed street intersects an existing street or streets, the elevation along the center line of the existing street or streets within one hundred (100) feet of the intersection shall be shown.
- n.a. Where steep slopes exist and when required by the Planning Board, cross-sections showing existing and proposed elevations of all new streets every one hundred (100) feet at five (5) points on a line at right angles to the center line of the street, said elevation points to be at the center line of the street, at each property line and at points twenty-five (25) feet inside each property line.
- ✓ Location, size, elevation and other appropriate description of any existing facilities which will be connected to proposed facilities and utilities within the subdivision.
- ✓ Where the design of the subdivision requires regrading of land, the regraded contours shall be shown, along with estimates of the quantity of material to be added or removed and the proposed measures to be implemented by the Applicant to rehabilitate the disturbed area or areas.
- ✓ Where the design of the subdivision requires blasting, the blasting areas and proposed measures to reduce impacts shall be shown as required by the Planning Board.
- ✓ Where the design of the subdivision requires the regarding of land, the regarded contours shall be shown along with the estimated quantify of material to be added or removed and the proposed measures to be implemented by the subdivider to rehabilitate the disturbed area or areas
- ✓ Title of all sheets; the name, address, signature and seal of the licensed professional preparing the construction plans; the date prepared, including revision dates, if any; the north arrow, written and graphic scales and consecutive numbering of each street in the series of plans.
- ✓ Notation indicating intended compliance with the Town construction standards and specifications as well as with the requirements of the Planning Board resolution of approval.
- ✓ Signature block for Planning Board endorsement of approval.

The application for final subdivision plat approval shall also be accompanied by the following:

- ✓ Proof of ownership by the Applicant of the premises affected by the application and certificate of title company covering all interests, liens and objections to title, if any.
- ✓ Where subdivision roads and/or other improvements are involved, a statement from the Applicant's engineer giving the estimated cost of construction, together with the quantities and unit costs used in preparing the estimate.
- n.a. A list of any and all waivers of the provisions of Chapter 355 (Zoning) and Chapter 275 (Subdivision of Land) of the Town of North Castle Town Code which the Applicant requests the Planning Board to grant in this specific case, with the reasons therefor.

Short Environmental Assessment Form

Part 1 - Project Information

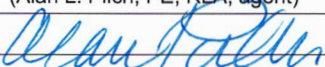
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Hidden Oak Subdivision			
Project Location (describe, and attach a location map): 13 Hidden Oak Road (at south end of Hidden Oak Road)			
Brief Description of Proposed Action: The proposed subdivision is a Conservation Subdivision which will subdivide the subject 7.69 acre property into three single family lots. Access to the three new lots will be via extension of Hidden Oak Road by a public 24-foot wide road. Each new lot will be supplied with potable water from extension of the existing Town water main. Wastewater will be treated in a septic system on each lot.			
Name of Applicant or Sponsor: McKenna Custom Homes, Inc		Telephone: (914) 769-1869	
		E-Mail: info@mckennacustom.com	
Address: 433 Manville Road			
City/PO: Pleasantville		State: NY	Zip Code: 10570
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: New York City Department of Environmental Protection for Stormwater Pollution Prevention Plan Westchester County Health Department for extension of water main and for septic systems		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		7.69 acres	
b. Total acreage to be physically disturbed?		5.34 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		7.69 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Each house will have its own septic system.	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <u>Stormwater discharge will continue to flow to same locations as at present, albeit at reduced peak rates of flow, attenuated volumes of runoff in accordance with the approved SWPPP as a result of the implementation of the stormwater management plan for the project.</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ Stormwater detention facility for peak rate attenuation and water quality improvement. Detention facility is approximately 120 feet x 60 feet in size.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: Kevin McKenna (Alan L. Pilch, PE, RLA, agent) Date: 02/25/2020 Signature: 		

**Hidden Oak Conservation Subdivision
Tree Survey**

Road Right-of-Way					Lot 1					Lot 2					Lot 3					Open Space				
Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes	
1	10	Locust	x		1-1	13	Maple			2-1	10	Maple			3-1	8	Maple			4-1		13	Oak	x
2	unk	Locust	x		1-2	16	Maple	x		2-2	14	Locust	x		3-2	14	Locust			4-2		6	Maple	x
3	21	Locust	x		1-3	10	Maple	x		2-3	13	Locust			3-3	unk				4-3		10	Maple	x
4	21	Locust	x		1-4	16	Locust	x		2-4	10	Oak			3-4	12	Ash		double					
5	18	Locust	x		1-5	15	Locust			2-5	11	Locust			3-5	13	Locust			Note: within open space, only trees to be removed were numbered				
6	16	Locust	x	double	1-6	19	Maple			2-6	11	Locust			3-6	15	Locust	x						
7	17	Locust	x		1-7	18	Locust			2-7	9	Maple			3-7	10	Oak	x						
8	17	Locust	x		1-8	6	Black Cherry			2-8	13	Locust	x		3-8	16	Locust	x						
9	6	Maple	x		1-9	12	Maple			2-9	12	Locust	x		3-9	10	Ash	x						
10	6	Locust	x		1-10	6	Oak	x		2-10	6	Oak	x		3-10	8	Oak	x						
11	28	Locust	x		1-11	6	Maple	x		2-11	11	Locust	x		3-11	10	Locust	x						
12	19	Locust	x		1-12	10	Oak	x		2-12	10	Oak	x		3-12	16	Locust	x						
13	10	Maple	x		1-13	9	Maple			2-13	12	Black Cherry			3-13	8	Oak	x						
14	10	Maple	x		1-14	12	Maple			2-14	11	Oak	x		3-14	17	Ash	x						
15	7	Maple	x		1-15	6	Maple			2-15	7	Oak	x		3-15	17	Ash	x						
16	7	Maple	x		1-16	18	Maple			2-16	11	Locust	x		3-16	6	Oak	x						
17	7	Maple	x		1-17	19	Maple			2-17	9	Locust	x		3-17	8	Locust							
18	13	Maple	x		1-18	9	Locust	x		2-18	9	Locust	x		3-18	8	Locust							
19	8	Maple	x		1-19	15	Locust	x		2-19	11	Oak	x		3-19	14	Locust							
20	21	Locust	x		1-20	14	Locust	x		2-20	10	Oak	x		3-20	14	Locust							
21	6	Maple	x		1-21	20	Locust	x		2-21	7	Locust	x		3-21	13	Locust							
22	21	Locust	x		1-22	10	Locust	x		2-22	11	Locust	x		3-22	7	Maple							
23	16	Ash	x		1-23	19	Locust	x		2-23	10	Locust	x		3-23	10	Maple							
24	24	Locust	x		1-24	20	Locust	x		2-24	11	Oak	x		3-24	10	Maple	x						
25	9	Oak	x		1-25	26	Ash	x		2-25	13	Locust	x		3-25	6	Oak	x						
26	6	Oak	x		1-26	16	Ash	x	triple	2-26	14	Oak			3-26	8	Oak	x						
27	17	Black Cherry	x		1-27	6	Oak	x		2-27	14	Ash			3-27	8	Oak	x						
28	6	Maple	x		1-28	22	Locust	x		2-28	9	Ash			3-28	13	Ash							
29	7	Maple	x		1-29	18	Locust	x		2-29	7	Oak			3-29	10	Locust							
30	19	Locust	x		1-30	8	Oak	x		2-30	15	Oak	x	double	3-30	16	Ash							
31	15	Locust	x		1-31	9	Oak	x		2-31	8	Oak	x		3-31	9	Oak							
32	14	Maple	x		1-32	26	Ash	x		2-32	14	Ash	x		3-32	10	Locust							
33	19	Locust	x		1-33	6	Oak	x		2-33	15	Ash	x		3-33	10	Ash	x	double					
34	22	Locust	x		1-34	8	Oak	x		2-34	12	Oak	x		3-34	8	Maple	x						
35	8	Oak	x		1-35	17	Ash	x		2-35	15	Ash	x		3-35	18	Ash	x						
36	8	Maple	x		1-36	7	Maple	x		2-36	13	Oak	x		3-36	8	Locust	x						
37	10	Maple			1-37	12	Oak	x		2-37	7	Maple	x		3-37	20	Ash							
38	6	Maple	x		1-38	6	Oak	x		2-38	7	Maple	x		3-38	9	Maple							
39	22	Maple	x		1-39	11	Locust	x		2-39	22	Ash	x		3-39	9	Maple	x						
40	23	Ash			1-40	11	Oak	x		2-40	6	Maple	x		3-40	8	Maple							
41	6	Maple	x		1-41	12	Oak			2-41	9	Ash	x		3-41	8	Maple							
42	6	Maple	x		1-42	11	Oak	x		2-42	7	Maple	x		3-42	22	Ash							
43	6	Maple	x		1-43	12	Locust	x		2-43	13	Ash	x		3-43	12	Oak							
44	7	Ash			1-44	10	Locust	x		2-44	6	Maple	x		3-44	12	Ash							
45	19	Ash			1-45	8	Ash	x		2-45	11	Ash	x		3-45	18	Ash							
46	6	Maple	x		1-46	10	Oak			2-46	7	Maple	x		3-46	15	Oak							
47	6	Maple	x		1-47	12	Locust			2-47	14	Ash	x		3-47	9	Maple	x						
48	6	Maple	x		1-48	11	Oak			2-48	17	Ash			3-48	13	Ash							
49	8	Maple	x		1-49	9	Locust			2-49	7	Oak			3-49	8	Oak							
50	8	Maple	x		1-50	8	Oak			2-50	17	Ash		double	3-50	18	Oak	x						
51	8	Maple	x		1-51	8	Locust			2-51	11	Ash	x		3-51	11	Ash							
52	6	Oak	x		1-52	11	Oak			2-52	8	Ash	x		3-52	13	Ash							
53	6	Oak	x		1-53	13	Locust			2-53	6	Maple	x		3-53	18	Oak							
54	25	Ash	x		1-54	12	Maple			2-54	6	Maple	x		3-54	9	Oak	x						
55	8	Maple	x		1-55	13	Locust			2-55	6	Maple	x		3-55	unk	unk	x						
56	8	Ash	x		1-56	unk	Locust			2-56	13	Ash	x		3-56	14	Oak	x						
57	24	Ash	x		1-57	11	Oak			2-57	9	Ash	x		3-57	8	Maple	x						

**Hidden Oak Conservation Subdivision
Tree Survey**

Road Right-of-Way					Lot 1					Lot 2					Lot 3					Open Space				
Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes	
58	22	Ash	x		1-58	12	Black Cherry			2-58	17	Maple			3-58	8	Oak							
59	8	Oak	x		1-59	7	Maple			2-59	12	Maple			3-59	6	Oak	x						
60	12	Maple	x		1-60	8	Oak			2-60	12	Ash	x	double	3-60	14	Oak	x						
61	7	Maple	x		1-61	8	Locust			2-61	18	Ash		double	3-61	11	Ash	x						
62	23	Locust	x		1-62	7	Locust			2-62	13	Oak			3-62	9	Oak	x						
63	24	Locust	x		1-63	10	Maple			2-63	12	Ash			3-63	10	Ash	x						
64	17	Oak	x		1-64	16	Ash			2-64	7	Oak	x		3-64	14	Ash	x						
65	20	Locust	x		1-65	12	Ash	x		2-65	7	Hickory	x		3-65	14	Ash	x						
66	8	Maple	x		1-66	20	Ash	x		2-66	12	Ash	x	double	3-66	16	Oak	x						
67	20	Locust	x		1-67	22	Ash	x		2-67	15	Ash	x		3-67	9	Oak	x						
68	9	Black Cherry	x		1-68	11	Oak	x		2-68	7	Oak			3-68	15	Oak	x						
69	10	Oak	x		1-69	7	Locust	x		2-69	11	Oak	x		3-69	9	Oak	x						
70	10	Ash	x		1-70	11	Locust	x		2-70	11	Oak			3-70	9	Oak	x						
71	18	Locust	x		1-71	8	Oak	x		2-71	7	Hickory	x		3-71	15	Oak	x						
72	19	Locust	x		1-72	8	Locust	x		2-72	14	Black Cherry		triple	3-72	13	Ash	x						
73	10	Oak	x		1-73	16	Ash	x	triple	2-73	20	Oak	x		3-73	15	Ash	x						
74	12	Oak	x		1-74	11	Ash	x		2-74	12	Black Cherry			3-74	12	Oak	x						
75	18	Ash	x		1-75	12	Locust	x		2-75	13	Ash	x		3-75	12	Oak	x						
76	10	Ash	x		1-76	14	Ash	x		2-76	10	Ash	x		3-76	7	Oak	x						
77	10	Ash	x		1-77	13	Locust	x		2-77	10	Ash	x		3-77	8	Maple	x						
78	14	Ash	x		1-78	6	Maple	x		2-78	6	Fagus	x		3-78	8	Maple	x						
79	11	Ash	x		1-79	7	Maple	x		2-79	9	Ash			3-79	11	Ash	x						
80	12	Oak	x		1-80	8	Locust	x		2-80	9	Ash			3-80	8	Maple	x						
81	16	Locust	x		1-81	21	Locust	x		2-81	14	Ash			3-81	8	Ash	x						
82	8	Oak	x		1-82	8	Maple			2-82	9	Fagus	x		3-82	7	Maple	x						
83	12	Ash	x		1-83	7	Maple			2-83	10	Ash			3-83	13	Locust	x						
84	6	Maple	x		1-84	9	Maple			2-84	6	Oak			3-84	14	Locust							
85	13	Ash	x		1-85	24	Locust			2-85	12	Ash			3-85	13	Locust	x						
86	15	Oak	x		1-86	22	Black Cherry			2-86	14	Ash			3-86	13	Locust	x						
87	8	Oak	x		1-87	8	Maple			2-87	18	Ash			3-87	7	Cedar							
88	7	Maple	x		1-88	13	Maple			2-88	12	Ash			3-88	12	Maple							
89	13	Ash	x		1-89	11	Locust			2-89	11	Ash			3-89	11	Maple							
90	13	Ash	x		1-90	9	Maple			2-90	11	Ash			3-90	12	Locust							
91	13	Oak	x		1-91	21	Maple		double	2-91	16	Ash			3-91	13	Locust							
92	10	Maple	x		1-92	9	Maple			2-92	12	Ash			3-92	16	Oak							
93	13	Locust	x		1-93	6	Maple			2-93	13	Ash	x		3-93	10	Oak							
94	15	Locust	x		1-94	9	Maple			2-94	11	Ash	x		3-94	8	Oak	x						
95	8	Maple	x		1-95	16	Maple			2-95	12	Ash			3-95	11	Oak	x						
96	12	Locust	x		1-96	8	Maple			2-96	6	Oak			3-96	12	Ash	x						
97	14	Oak	x		1-97	24	Maple			2-97	7	Oak			3-97	15	Ash	x						
98	13	Locust	x		1-98	15	Ash			2-98	14	Ash			3-98	12	Ash	x						
99	12	Locust	x		1-99	20	Ash			2-99	14	Ash		double	3-99	8	Oak	x						
100	11	Locust	x	double	1-100	14	Maple			2-100	8	Maple			3-100	13	Ash	x						
101	14	Locust	x		1-101	13	Locust			2-101	12	Ash			3-101	12	Ash	x						
102	7	Maple	x		1-102	6	Maple			2-102	13	Ash			3-102	16	Ash	x						
103	7	Maple	x		1-103	8	Maple			2-103	9	Ash			3-103	unk		x						
104	6	Maple	x		1-104	9	Maple			2-104	14	Ash		double	3-104	unk		x						
105	15	Locust	x		1-105	6	Maple			2-105	10	Ash		double	3-105	14	Ash	x						
106	14	Locust	x		1-106	30	Ash			2-106	13	Ash			3-106	15	Ash	x						
107	8	Maple	x		1-107	26	Ash	x		2-107	13	Ash			3-107	16	Ash	x						
108	9	Maple	x		1-108	38	Ash	x		2-108	11	Ash			3-108	12	Ash	x						
109	12	Locust	x		1-109	20	Ash	x		2-109	10	Oak			3-109	15	Ash	x						
110	11	Locust	x		1-110	14	Ash	x		2-110	17	Ash			3-110	unk		x						
111	6	Maple	x		1-111	15	Maple	x		2-111	13	Ash			3-111	11	Ash	x						
112	8	Maple	x		1-112	20	Locust			2-112	6	Maple			3-112	9	Ash	x						
113	6	Maple	x		1-113	14	Locust			2-113	24	Ash			3-113	10	Maple	x						
114	20	Ash	x		1-114	8	Locust			2-114	14	Ash			3-114	6	Fagus	x						
					1-115	15	Hickory			2-115	6	Maple			3-115	13	Oak	x						
					1-116	6	Ash			2-116	11	Ash			3-116	25	Oak	x						

**Hidden Oak Conservation Subdivision
Tree Survey**

Road Right-of-Way					Lot 1					Lot 2					Lot 3					Open Space				
Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes		Number	DBH	Species	Remove? x = yes	
					1-117	16	Locust			2-117	6	Maple			3-117	12	Black Cherry	x	double					
					1-118	18	Locust	x		2-118	15	Ash			3-118	9	Hickory	x						
					1-119	13	Locust	x		2-119	6	Maple			3-119	9	Oak	x						
					1-120	13	Maple	x		2-120	6	Maple			3-120	10	Oak	x						
					1-121	11	Locust	x		2-121	15	Ash			3-121	16	Maple	x	double					
					1-122	18	Locust	x		2-122	7	Maple			3-122	9	Black Cherry	x						
					1-123	14	Locust	x		2-123	7	Maple			3-123	9	Black Cherry	x						
					1-124	17	Locust	x		2-124	6	Fagus			3-124	16	Ash	x						
					1-125	10	Maple	x		2-125	16	Oak		double	3-125	11	Black Cherry	x						
					1-126	9	Locust	x		2-126	8	Fagus			3-126	16	Maple		double					
					1-127	8	Locust	x		2-127	10	Ash			3-127	9	Oak							
					1-128	17	Locust	x		2-128	6	Maple			3-128	6	Oak							
					1-129	9	Black Cherry	x		2-129	6	Maple			3-129	9	Cedar							
					1-130	12	Black Cherry	x		2-130	13	Ash			3-130	7	Cedar							
					1-131	11	Locust	x		2-131	6	Oak			3-131	12	Oak							
					1-132	12	Locust	x		2-132	6	Fagus	x		3-132	11	Oak							
					1-133	15	Maple	x		2-133	14	Maple			3-133	15	Black Cherry		double					
					1-134	7	Locust	x		2-134	7	Fagus			3-134	11	Oak							
					1-135	10	Locust			2-135	12	Hickory			3-135	15	Oak							
					1-136	20	Locust	x		2-136	6	Oak			3-136	9	Black Cherry							
					1-137	9	Oak	x		2-137	7	Maple			3-137	14	Maple							
					1-138	7	TOH	x		2-138	16	Ash	x		3-138	16	Maple							
					1-139	7	Black Cherry			2-139	7	Maple	x		3-139	6	Black Cherry	x						
					1-140	5	Black Cherry			2-140	7	Maple	x		3-140	10	Hickory	x						
					1-141	6	Black Cherry	x		2-141	8	Fagus	x		3-141	15	Ash	x						
					1-142	6	Black Cherry	x		2-142	24	Oak	x		3-142	7	Fagus	x						
					1-143	5	Black Cherry	x		2-143	6	Oak	x		3-143	10	Black Cherry	x						
					1-144	5	Black Cherry	x		2-144	10	Ash	x		3-144	12	Black Cherry	x						
					1-145	10	Locust	x		2-145	12	Ash	x		3-145	7	Black Cherry	x						
					1-146	15	Maple	x		2-146	7	Oak	x		3-146	8	Oak							
					1-147	13	Locust	x		2-147	8	Oak	x		3-147	14	Maple	x	double					
					1-148	11	Locust	x		2-148	15	Ash	x		3-148	11	Oak	x						
					1-149	16	Maple	x		2-149	12	Maple	x		3-149	7	Oak	x						
					1-150	11	Locust	x		2-150	14	Ash	x		3-150	14	Oak	x						
					1-151	16	Black Cherry	x		2-151	12	Hickory			3-151	15	Oak	x						
					1-152	12	Locust	x		2-152	7	Fagus			3-152	15	Tulip	x						
					1-153	13	Maple	x		2-153	9	Maple			3-153	12	Fagus	x						
					1-154	11	Locust	x		2-154	20	Ash			3-154	14	Oak							
					1-155	7	Maple	x		2-155	7	Oak			3-155	6	Maple	x						
					1-156	7	Oak			2-156	11	Oak			3-156	16	Oak							
					1-157	11	Oak			2-157	7	Maple			3-157	12	Maple		double					
					1-158	9	Ash	x	double	2-158	14	Ash			3-158	11	Oak							
					1-159	7	Hickory			2-159	8	Oak			3-159	6	Oak	x						
					1-160	6	Black Cherry	x		2-160	7	Fagus	x		3-160	6	Oak	x						
					1-161	16	Maple	x		2-161	13	Oak	x		3-161	10	Ash	x						
					1-162	18	Maple			2-162	10	Locust	x		3-162	18	Ash	x						
					1-163	26	Maple			2-163	14	Ash	x		3-163	8	Oak	x						
					1-164	25	Locust			2-164	11	Oak	x		3-164	11	Hickory	x						
					1-165	11	Maple			2-165	15	Locust	x		3-165	11	Hickory	x						
					1-166	6	Maple			2-166	8	Maple			3-166	11	Oak	x						
					1-167	13	Black Cherry			2-167	13	Oak			3-167	7	Oak	x						
					1-168	18	Locust			2-168	11	Oak			3-168	18	Ash	x						
					1-169	8	Maple			2-169	7	Oak	x		3-169	12	Hickory	x						
					1-170	6	Maple			2-170	14	Oak	x		3-170	7	Hickory	x						
					1-171	9	Maple			2-171	6	Maple	x		3-171	10	Hickory	x						
					1-172	15	Maple			2-172	10	Locust	x		3-172	14	Ash	x						
					1-173	9	Maple			2-173	12	Oak	x		3-173	8	Oak	x						
					1-174	16	Ash			2-174	9	Locust			3-174	10	Hickory	x						
					1-175	23	Ash			2-175	15	Oak			3-175	11	Oak	x	double					

**Hidden Oak Conservation Subdivision
Tree Survey**

Road Right-of-Way				Lot 1				Lot 2				Lot 3				Open Space			
Number	DBH	Species	Remove? x = yes	Number	DBH	Species	Remove? x = yes	Number	DBH	Species	Remove? x = yes	Number	DBH	Species	Remove? x = yes	Number	DBH	Species	Remove? x = yes
				1-176	11	Maple	x	2-176	14	Black Cherry		3-176	14	Hickory	x				
				1-177	9	Oak	x	2-177	8	Maple		3-177	11	Fagus	x				
				1-178	9	Maple	x	2-178	10	Oak		3-178	8	Maple	x				
				1-179	16	Locust	x	2-179	7	Oak		3-179	10	Fagus	x				
								2-180	11	Oak		3-180	8	Ash	x				
								2-181	7	Locust		3-181	8	Oak					
								2-182	11	Locust		3-182	10	Maple					
								2-183	10	Oak		3-183	14	Oak	x				
								2-184	9	Locust		3-184	18	Ash					
								2-185	9	Locust		3-185	13	Ash					
								2-186	8	Oak		3-186	13	Black Cherry					
								2-187	13	Locust		3-187	13	Oak					
								2-188	9	Locust		3-188	12	Ash					
								2-189	6	Hickory		3-189	10	Oak					
								2-190	8	Oak		3-190	7	Hickory		double			
								2-191	15	Ash		3-191	25	Tulip	x				
								2-192	9	Oak		3-192	7	Tulip	x				
												3-193	7	Oak	x				
												3-194	9	Oak					
												3-195	7	Oak	x				
												3-196	18	Oak	x				
												3-197	11	Oak	x				
												3-198	6	Oak					
												3-199	18	Ash					
												3-200	8	Ash					
												3-201	12	Ash	x	double			
												3-202	14	Ash					
												3-203	12	Oak					
												3-204	7	Fagus	x				
												3-205	14	Oak	x				
												3-206	12	Oak	x				
												3-207	12	Oak		double			
												3-208	7	Oak		double			
												3-209	14	Fagus	x				
												3-210	15	Oak	x				
												3-211	11	Oak	x				
												3-212	14	Maple	x	double			
												3-213	6	Fagus	x				

Tree Removal Summary

	R.O.W.	Lot 1	Lot 2	Lot 3	Open Space
All regulated trees (≥ 8" DBH)	84	74	59	117	3
Specimen trees (≥ 24" DBH)	6	4	1	2	0

Note: all regulated trees includes specimen trees



June 6, 2016

Alan L. Pilch, P.E., R.L.A.
Evans Associates Environmental Consulting, Inc.
205 Amity Road
Bethany, CT 06524

Emily Lloyd
Commissioner

Re: Hidden Oak Subdivision – SWPPP
Hidden Oak Road, (T) North Castle
TM # 107.01-1-32
Kensico Reservoir Basin
DEP Log # 2014-KE-0108-SP.1

Paul V. Rush, P.E.
Deputy Commissioner
Bureau of Water Supply
prush@dep.nyc.gov

Dear Mr. Pilch:

165 Columbus Avenue
Alhalla, NY 10595
T: (914) 742-2001
F: (914) 742-2027

This letter is to inform you that your application to engage in the above referenced regulated activity pursuant to the "Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources" (Regulations) was approved on June 6, 2016.

The Department reserves the right to modify, suspend or revoke this approval based on the grounds set forth in Section 18-26 of the Regulations. The activity proposed in your application only applies to the terms of this approval and is subject to the Regulations cited above. Failure to comply with the conditions of the approval may be the cause for suspension of this approval and initiation of an enforcement action. Should modification, suspension or revocation of an approval be necessary, the Department will notify the regulated party, via certified mail or personal service prior to modifying, suspending or revoking the approval. The notice will state the alleged facts or conduct which appear to warrant the intended action and explain the procedures to be followed.

The Regulations provide that an applicant may appeal the imposition of a substantial condition in an approval by filing a petition, in writing, with NYCDEP and with the New York City Office of Administrative Trials and Hearings (OATH) within thirty days of the date this determination was mailed.

NYCDEP may inspect and monitor the erosion control practices at the project site during construction. Therefore, a pre-construction meeting must be held at least two days prior to the start of any work. The owner, design professional, contractor and NYCDEP personnel must attend.

Please contact Mary Galasso at (914) 773 – 4440 to schedule this pre-construction meeting.

Sincerely,



Mary P. Galasso
Supervisor
Stormwater Programs EOH

c: McKenna Custom Homes, Owner, mckennacustom@optonline.net
A. Kaufman, (T) North Castle Planning (w/enc.) - planning@northcastleny.com
Armand DeAngelis, NYSDEC - armand.deangelis@dec.ny.gov



New York City Department of Environmental Protection

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Pursuant to the authority granted under:

Article 11 of the New York State Public Health Law;
Rules and Regulations For The Protection From Contamination, Degradation and
Pollution Of The New York City Water Supply and Its Sources, 15 RCNY Chapter 18, 10
NYCRR Part 128.

New York City Department of Environmental Protection makes the following determinations
with respect to the stormwater pollution prevention plan described below:

Name of Project: Hidden Oak Subdivision

Location: Hidden Oak Road
(T) North Castle, Westchester County, New York
Tax Map # 107.01-1-32

Owner: Kevin McKenna
McKenna Custom Homes

Address: 343 Manville Road
Pleasantville, NY 10570

Drainage Basin: Kensico Reservoir

General Description:

The proposed project is a three lot residential subdivision on approximately 7.7 acres. The lots will be served by individual subsurface sewage treatment systems and wells. Stormwater management practices include underground infiltration systems, a bioretention practice, a vegetated swale, and an extended detention stormwater wetland. Proprietary devices units will provide pretreatment for infiltration and bioretention practices. Runoff reduction will be achieved using infiltration, rain gardens, and tree planting.

Date(s) of site inspection:

May 14, 2014 and November 11, 2014

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Hidden Oak Subdivision
(T) North Castle, New York

June 6, 2016
Page 2 of 5

(XX) Approved

() Denied

Conditions of Approval:

This approval is granted with the following conditions:

- The regulated activity must be conducted in compliance with the plans as approved, listed in Appendix A, all applicable accepted standards, and all applicable laws, rules and regulations.
- Any alteration or modification of the SWPPP must be approved by DEP prior to implementation; DEP may opt to issue an amended SWPPP Determination.
- The applicant must schedule a pre-construction conference prior to the start of construction. Present at the meeting should be the applicant, the design engineer, the general contractor, and DEP staff.
- The applicant must notify DEP at least forty-eight (48) hours prior to the commencement of construction activity so that compliance inspections may be scheduled by DEP.
- All erosion and sediment controls must be properly installed and maintained until the site has been stabilized and the risk of erosion eliminated. Final stabilization is defined in the General Permit as all soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 80% cover for the area has been established or equivalent stabilization measures (such as the use of mulches or geotextiles) have been employed.
- The applicant is required to submit as-built drawings for all stormwater management and water quality facilities.
- The stormwater management and water quality facilities must be maintained in accordance with the maintenance schedule included in the SWPPP as approved by DEP.
- This approval shall expire and thereafter be null and void unless construction is completed within Five (5) years of the date of issuance or within any extended period of time approved by DEP upon good cause shown.
- In the event that the material submitted is inaccurate or misleading, this approval is not valid and construction of this project is in violation of DEP regulations
- Failure to comply with any of the conditions of this approval is a violation of this approval and the *Rules and Regulations For The Protection From Contamination, Degradation and Pollution Of The New York City Water Supply and Its Sources*.

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Hidden Oak Subdivision
(T) North Castle, New York

June 6, 2016
Page 3 of 5

- This approval and all conditions of the approval are binding on the owner of the property where the facility is to be located. Any references to the “applicant” in this approval or in any conditions of this approval shall be deemed to refer to the owner of such property.
- If the applicant sells or otherwise transfers title of Hidden Oak Subdivision before all construction planned for the property is completed and the site is stabilized, the applicant shall require the new owner (“Buyer”) to comply with the SWPPP approved by the New York City Department of Environmental Protection on June 6, 2016 including, but not limited to, conservation easements, negative covenants, all provisions relating to erosion and sediment control during construction and to all maintenance of the stormwater management facilities once construction is complete. In particular, the applicant shall provide the Buyer with a copy of the SWPPP and shall cause the following real covenants and restrictions to be recorded with the deed for Hidden Oak Subdivision with the following provisions:
 - (1) Buyer hereby acknowledges, covenants, warrants, and represents that he/she shall install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the SWPPP, such SWPPP being attached hereto as Exhibit ____.
 - (2) Buyer’s installation and maintenance of the erosion control and stormwater management facilities shall be for the benefit of the City of New York as well as for the owners of Hidden Oak Subdivision.
 - (3) Buyer’s obligation to install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the attached SWPPP shall be perpetual, shall run with the land, and shall be binding on Buyer’s heirs, successors, and assigns.
 - (4) Buyer hereby covenants, warrants and represents that any lease, mortgage, subdivision, or other transfer of Hidden Oak Subdivision SWPPP, or any interest therein, shall be subject to the restrictive covenants contained herein pertaining to the installation and maintenance of erosion control and stormwater management facilities, and any deed, mortgage, or other instrument of conveyance shall specifically refer to the attached SWPPP and shall specifically state that the interest thereby conveyed is subject to covenants and restrictions contained herein.
- Prior to conveying title to Hidden Oak Subdivision, the applicant shall submit to the New York City Department of Environmental Protection a proposed deed containing the aforementioned real covenants and restrictions.

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Hidden Oak Subdivision
(T) North Castle, New York

June 6, 2016
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This approval and all conditions of the approval are binding on the owner of the property where the stormwater management facilities are to be located. Any references to the "applicant" in this approval or in any conditions of this approval shall be deemed to refer to the owner of such property.

Date: June 6, 2016

Determination made by:



Mary P. Galasso

Supervisor

Stormwater programs, EOH

DEP Regulatory and Engineering Programs

This determination letter must be maintained by the applicant and be readily available for inspection at the construction site.

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

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APPENDIX A

The following documents were prepared by Evans Associates Environmental Consulting, Inc., for Hidden Oak Subdivision:

1. Stormwater Pollution Prevention Plan report dated March 1, 2016.
2. Drawing CS-1 entitled "Cover Sheet" dated July 15, 2014, last revised March 1, 2016.
3. Drawing IPP-1 entitled "Integrated Plot Plan/Subdivision Layout" dated July 15, 2014, last revised March 1, 2016.
4. Drawing S-2 entitled "Grading & Utilities Plan" dated July 15, 2014, last revised March 1, 2016.
5. Drawing SP-3.1 entitled "Phase 1: Erosion & Sediment Control Plan/Tree Removal and Protection Plan" dated July 15, 2014, last revised March 1, 2016.
6. Drawing SP-3.2 entitled "Phase 2: Erosion & Sediment Control Plan/Tree Removal and Protection Plan" dated July 15, 2014, last revised March 1, 2016.
7. Drawing SP-4 entitled "Slopes Map" dated July 15, 2014, last revised July 24, 2015.
8. Drawing SP-5 entitled "Landscape Plan" dated July 14, 2014, last revised March 1, 2016.
9. Drawing DE-1 entitled "Construction Details" dated July 15, 2014, last revised March 1, 2016.
10. Drawing DE-2 entitled "Construction Details" dated May 30, 2014, last revised March 1, 2016.
11. Drawing DE-3 entitled "Construction Details" dated November 17, 2014, last revised July 24, 2015.
12. Drawing DE-4 entitled "Construction Details/Erosion Control Notes" dated April 9, 2015, last revised March 1, 2016.
13. Drawing DE-5 entitled "Construction Details/Maintenance Plan" dated August 25, 2015, last revised March 1, 2016.