

PROPOSED SITE IMPROVEMENTS  
TO  
SHELL GAS STATION

375 MAIN STREET  
ARMONK, NY

LIST OF DRAWINGS

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5	C-005.00	PROPOSED LANDSCAPING PLAN
6	C-006.00	PROPOSED LIGHTING PLAN
7	C-007.00	PROPOSED FUEL TRUCK PATH PLAN
8	C-008.00	PROPOSED BUILDING FLOOR PLAN
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11	C-011.00	PROPOSED CANOPY ELEVATIONS & SIGNAGE DETAILS
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14	C-014.00	SITE DETAILS III
15	C-015.00	SITE DETAILS IV



LOCATION PLAN  
NOT TO SCALE




**BRONZINO ENGINEERING, P.C.**

100-3 SOUTH JERSEY AVE.  
EAST SETAUKET, NY 11733  
631-751-8299

CLIENT  
**NY DEALER STATIONS**  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

ALL DRAWINGS ARE TO BE  
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1	REVISED FOR TOWN FILING	9/11/20
No.	D E S C R I P T I O N	DATE



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DOB APPROVAL:

PROJECT:  
**PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY**

SECTION: 2	2	BLOCK: 11	11
LOT: 6.6	6.6	FIRE DIST: 2	

DRAWING TITLE:  
  
**COVER SHEET**

PROJECT #: 190808

SCALE: AS NOTED

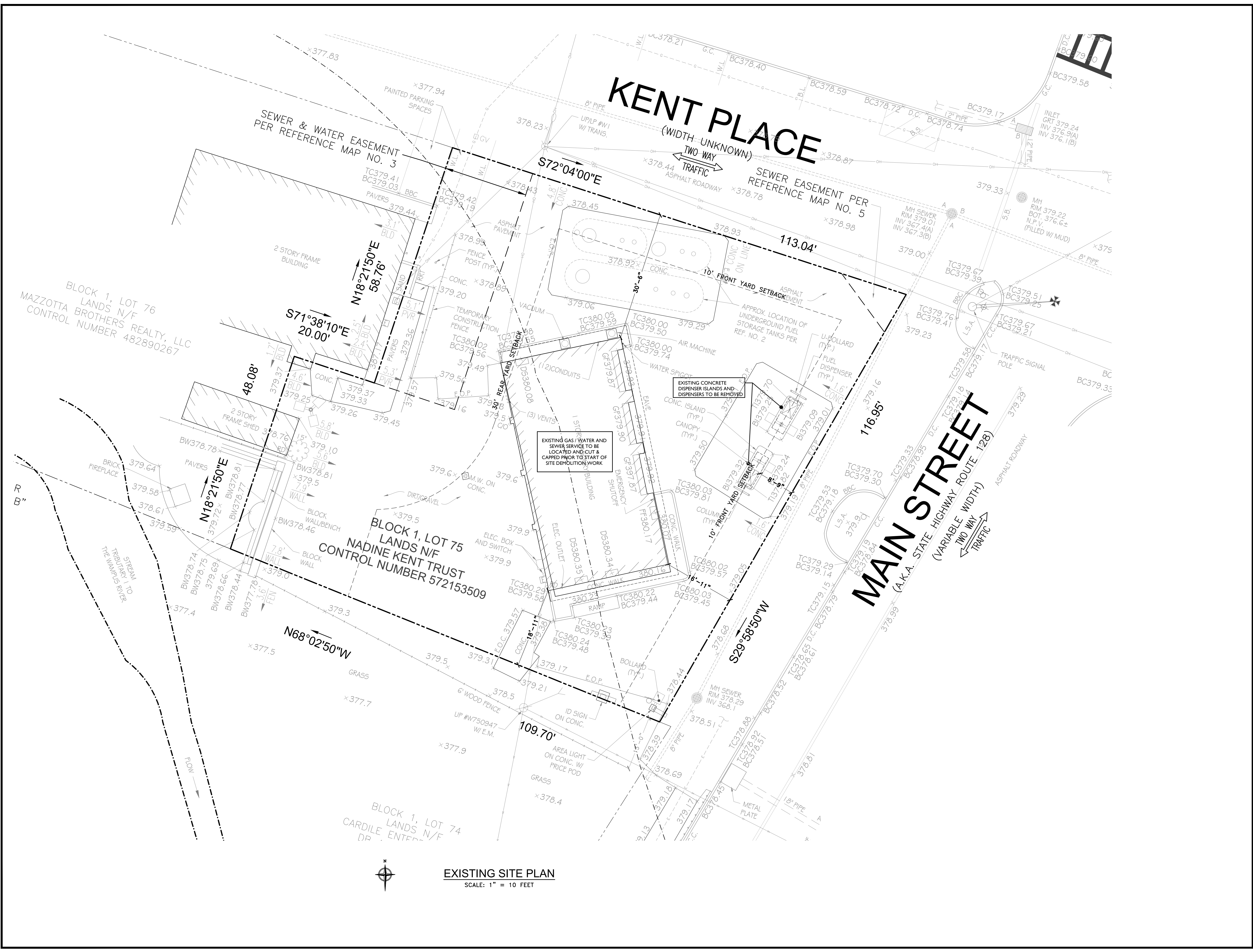
DATE: 5/11/20


DRAWING NO:  
**C-001.00**

SHEET NO:  
**1 OF 15**

B-SCAN







**BRONZINO ENGINEERING, P.C.**

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CLIENT

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375 MAIN STREET  
ARMONK, NY

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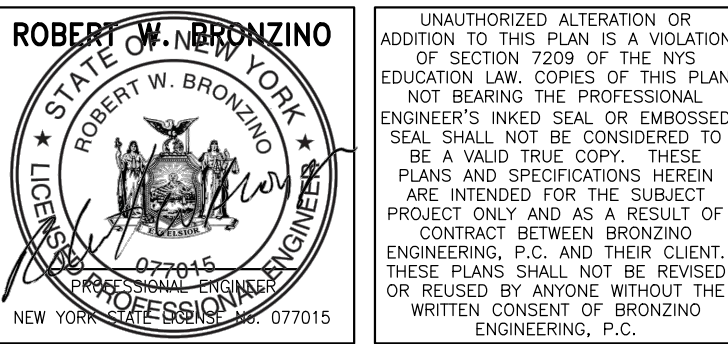
**EXISTING SITE PLAN**

PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20
DRAWING NO:	<b>C-002.00</b>
SHEET NO:	<b>2 OF 15</b>

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**PROPOSED SITE  
IMPROVEMENTS TO  
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375 MAIN STREET  
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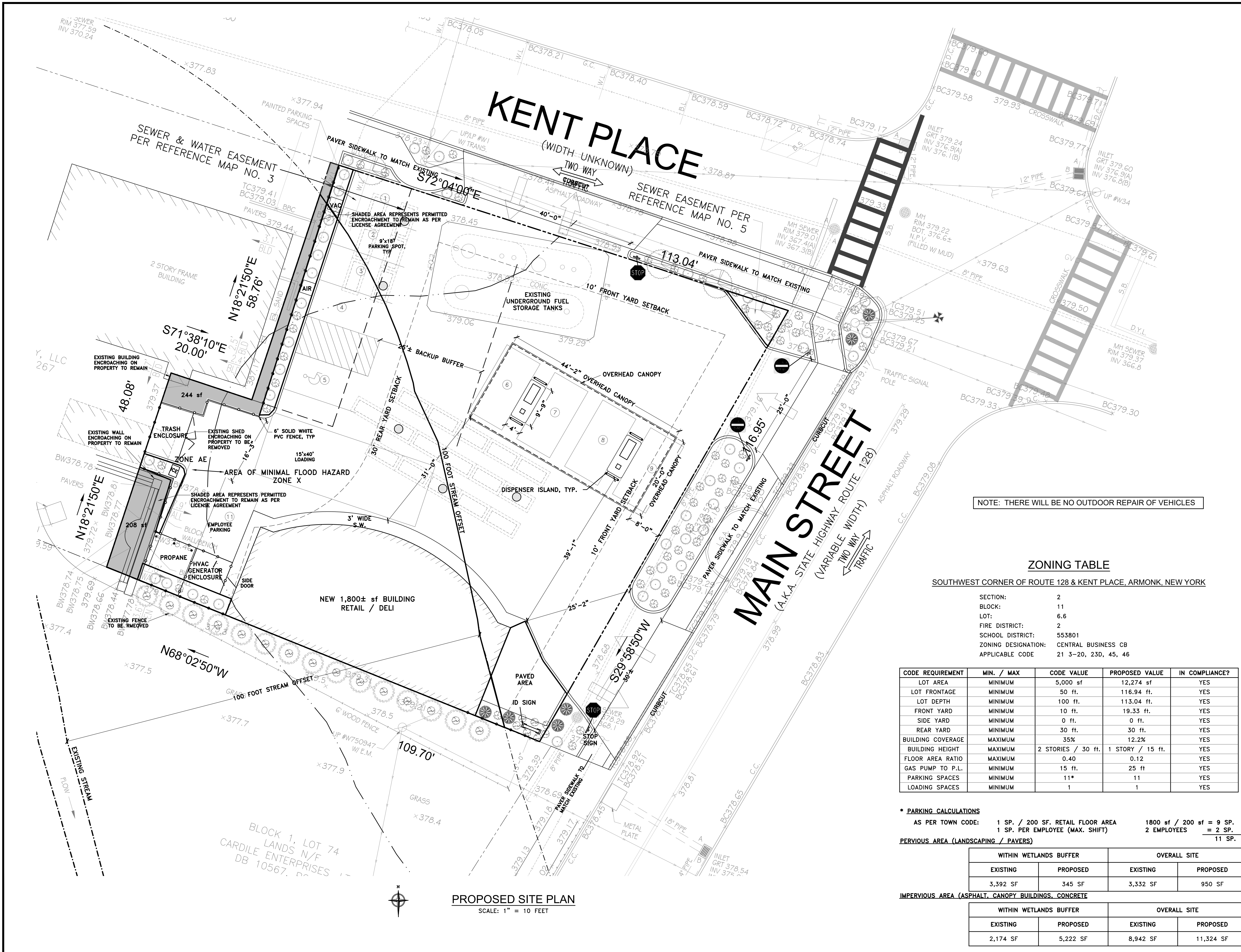
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LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED SITE PLAN**

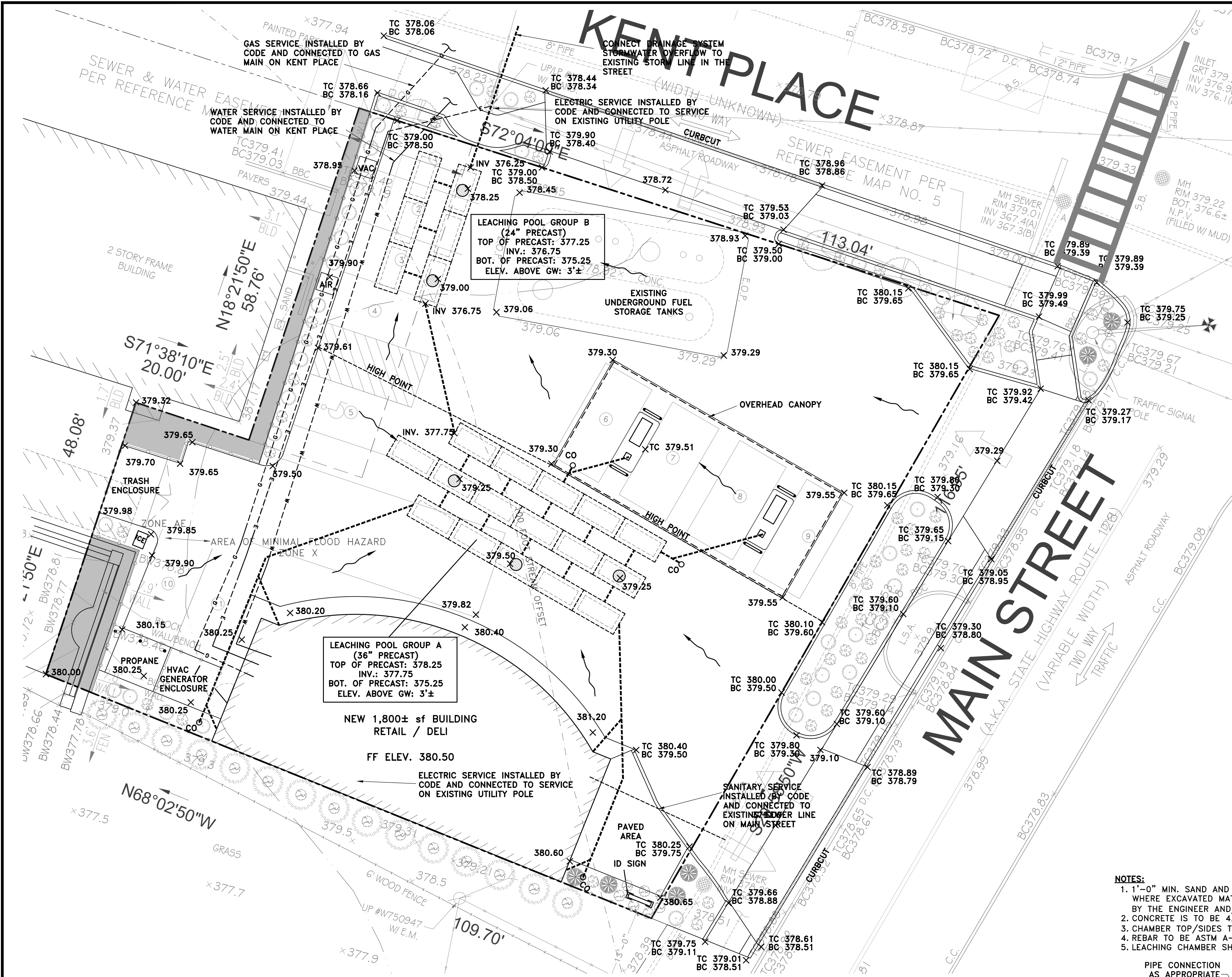
PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20
DRAWING NO:	

**C-003.00**  
SHEET NO:  
**3 OF 15**

B-SCAN



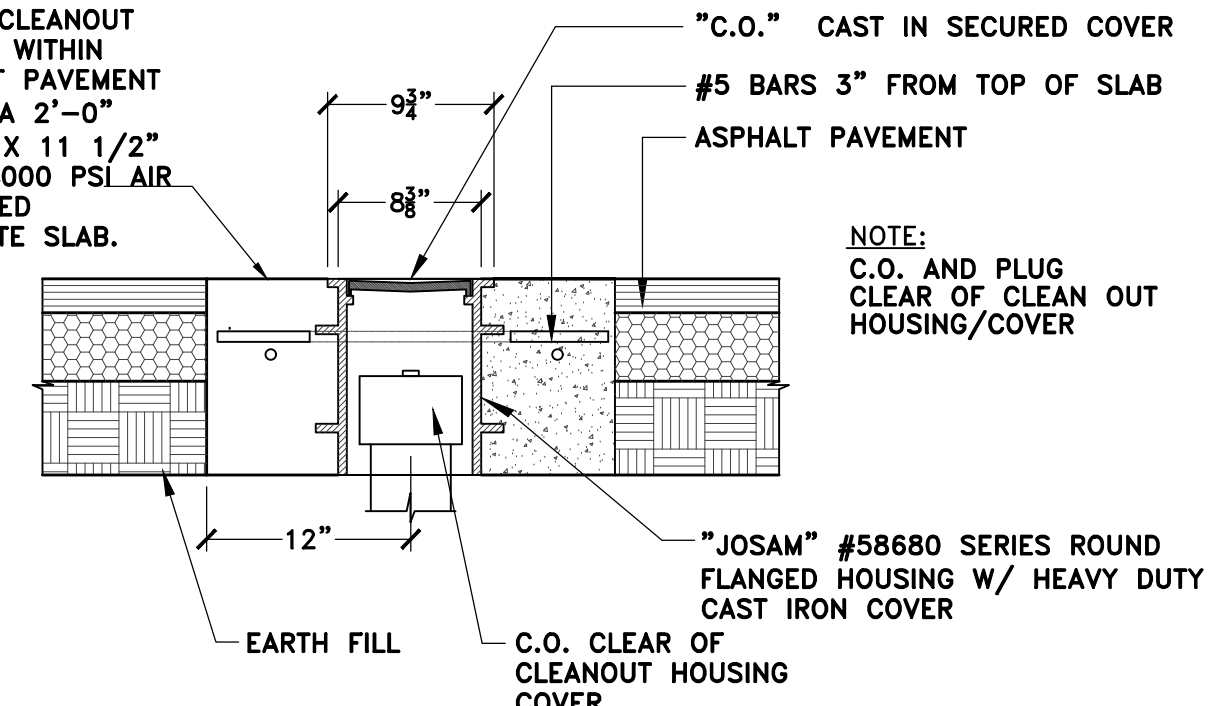




### DRAINAGE / UTILITY NOTES

- WHERE SANITARY SYSTEM IS TO BE INSTALLED, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THOSE AREAS BACKFILLED WITH SUITABLE MATERIAL AS DIRECTED BY THE ENGINEER
- PUBLIC WATER IS AVAILABLE IN THE STREET AND THE NEW STRUCTURES SHALL BE CONNECTED TO THE PUBLIC WATER SYSTEM AS PER CODE
- ELECTRIC SERVICE IS AVAILABLE IN THE STREET AND THE NEW STRUCTURES SHALL BE CONNECTED TO THE PUBLIC ELECTRIC SYSTEM AS PER CODE
- THE PROPOSED BUILDING SANITARY SYSTEM SHALL BE INSTALLED AS PER CODE
- THE MINIMUM DISTANCE BETWEEN SANITARY AND STORM DRAINAGE STRUCTURES IS 20'
- THE MINIMUM DISTANCE BETWEEN WATER LINE AND SEPTIC STRUCTURES IS 10'
- THE MINIMUM DISTANCE BETWEEN WATER LINE AND STORM DRAINAGE STRUCTURES IS 10'
- THE MIN. DISTANCE BETWEEN WATER & UNDERGROUND ELECTRIC/TELEPHONE LINES IS 10'
- ALL INTERCONNECTING PIPE BETWEEN STORM WATER LEACHING POOLS SHALL BE 8" DIAMETER CORRUGATED PLASTIC PIPE
- ALL CONNECTIONS BETWEEN ROOF LEADERS AND LEACHING POOLS SHALL BE 6" SCHEDULE 80 PVC UNLESS OTHERWISE NOTED
- ROOF DRAINS SHALL BE 6" SCH 40 C.I. PIPE
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES
- STORM WATER RETENTION SYSTEM DESIGNED BASED ON THE FOLLOWING CRITERIA:
  - 100 YEAR STORM (24 HOUR DURATION)
  - NOAA, ATLAS 14, VOLUME 10, VERSION WHERE POINT PRECIPITATION FREQUENCY ESTIMATE IS 8.41 INCHES
- DRAINAGE SYSTEM DESIGN USES DATA OBTAINED BY SOIL PERCOLATION TEST (INFILTRATION TEST) PERFORMED BY TECTONIC, IN REPORT DATED 9/3/20 AND PERFORMED ON 9/1/20 WHERE
  - THE ESTIMATED INFILTRATION RATE = 4.5 INCHES PER HOUR
  - GROUNDWATER WAS FOUND AT APPROXIMATELY 7.5 FEET BELOW GRADE (ELEVATION 372±)

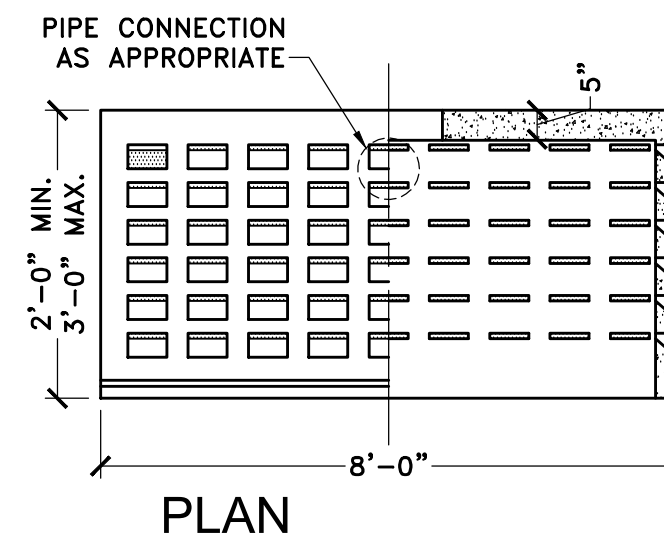
NOTE:  
WHERE CLEANOUT OCCURS WITHIN ASPHALT PAVEMENT SET IN A 2'-0" X2'-0" X 11 1/2" THICK 4000 PSI AIR ENTRAINED CONCRETE SLAB.



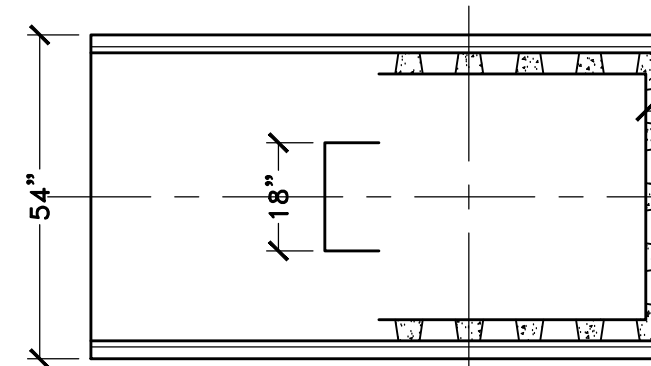
CLEAN OUT DETAIL  
NOT TO SCALE

### NOTES:

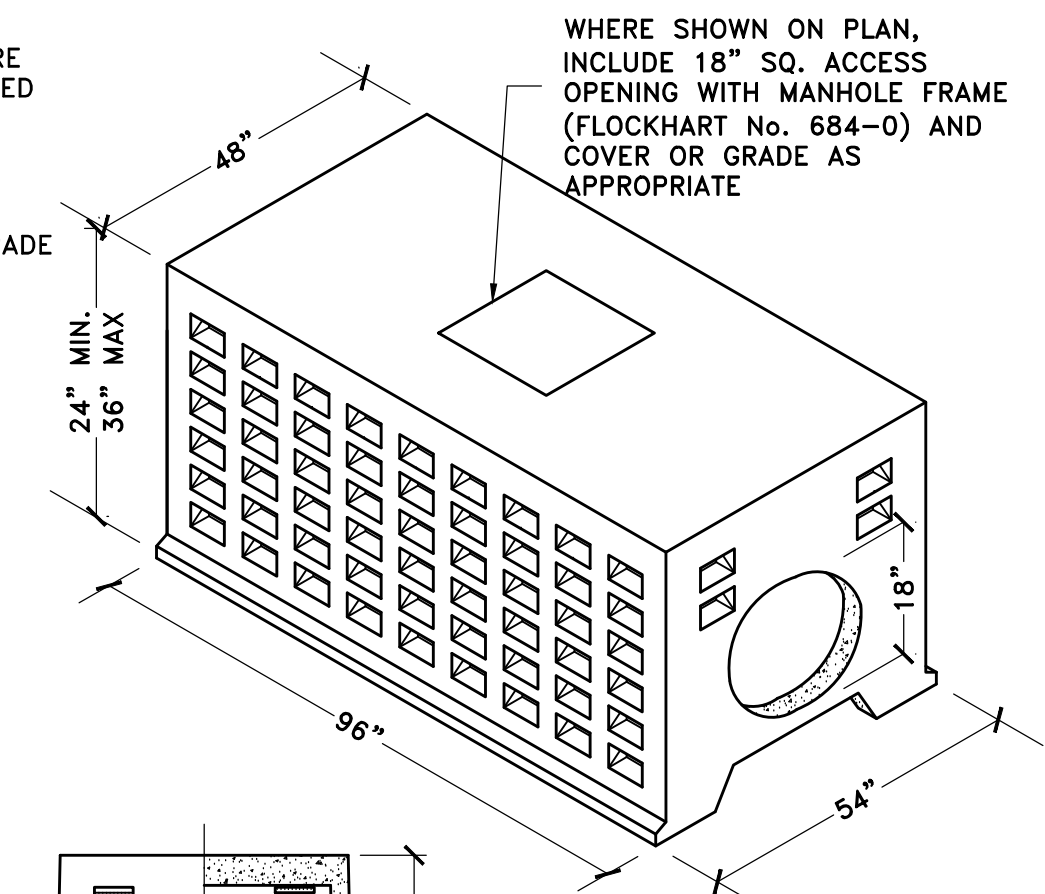
- 1'-0" MIN. SAND AND GRAVEL COLLAR AROUND STRUCTURE WHERE EXCAVATED MATERIAL IS UNSUITABLE AS DETERMINED BY THE ENGINEER AND/OR TOWN INSPECTOR
- CONCRETE IS TO BE 4,000 PSI AT 28 DAYS
- CHAMBER TOP/SIDES TO BE COVERED WITH FILTER FABRIC
- REBAR TO BE ASTM A-615 GRADE 60
- LEACHING CHAMBER SHALL BE SET ON COMPACTED SUBGRADE



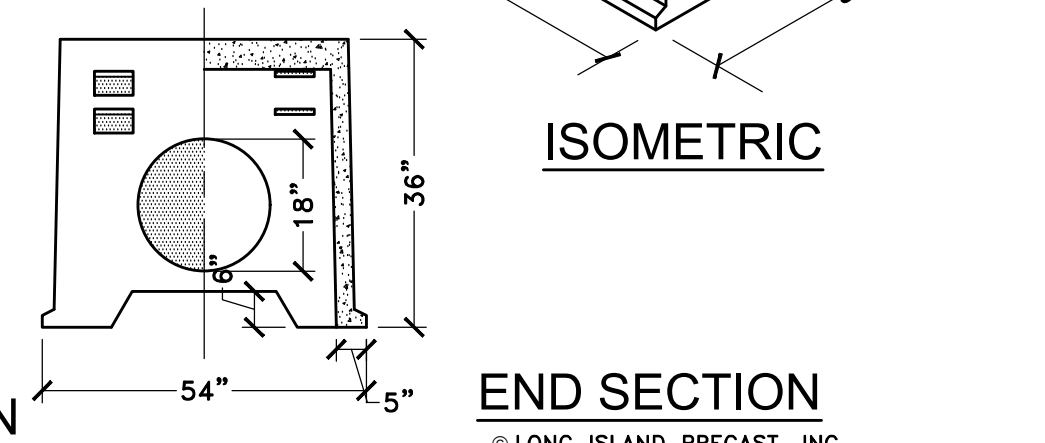
PLAN



SECTION



ISOMETRIC



END SECTION

3 FEET DEEP PRECAT RECTANGULAR LEACHING POOL

© LONG ISLAND PRECAST, INC.  
BROOKHAVEN, NY  
631-286-0240

### DRAINAGE CALCULATIONS

#### EXISTING CONDITIONS

ACTUAL AREA (SF)	USE	MATERIAL	RUNOFF COEFF.	EFFECTIVE AREA (SF)
6,975	PARKING / DRIVEWAY	ASPHALT	1.00	6,975
3,332	LANDSCAPING	MULCH / GRASS	0.10	333
1,603	ROOF DRAINAGE	N/A	1.00	1,603
364	WALKWAYS	CONCRETE	1.00	364

#### PROPOSED CONDITIONS

ACTUAL AREA (SF)	USE	MATERIAL	RUNOFF COEFF.	EFFECTIVE AREA (SF)
8,091	PARKING / DRIVEWAY	ASPHALT	1.00	8,091
950	LANDSCAPING	MULCH / GRASS	0.10	95
2,683	ROOF DRAINAGE	N/A	1.00	2,683
550	WALKWAYS	CONCRETE	1.00	550

TOTAL CHANGE IN EFFECTIVE AREA = 11,419 SF - 9,275 SF = 2,144 SF TOTAL: 11,419  
TOTAL DRAINAGE STORAGE REQUIRED = 0.41 IN x (1 FT/12 IN) x 2,144 SF = 1,503 CF  
USE: (16) 3 FOOT HIGH PRECAST RECTANGULAR LEACHING STRUCTURES WITH THE FOLLOWING PROPERTIES:  
EFFECTIVE AREA: 25.38 SF  
EFFECTIVE HEIGHT: 2.50 FT  
EFFECTIVE VOLUME = 63.45 CF  
(16 x 63.45 CF) + (16 x 25.38 SF x (4.5 IN / 12 IN)) = 1,167.52 CF  
(6) 2 FOOT HIGH PRECAST RECTANGULAR LEACHING STRUCTURES WITH THE FOLLOWING PROPERTIES:  
EFFECTIVE AREA: 25.38 SF  
EFFECTIVE HEIGHT: 1.50 FT  
EFFECTIVE VOLUME = 38.07 CF  
(6 x 38.07 CF) + (5 x 25.38 SF x (4.5 IN / 12 IN)) = 285.53 CF  
(13) 3 FOOT LONG x 18" DIAMETER INTERCONNECTING PIPES ..... 68.92 CF  
TOTAL STORAGE PROVIDED = 1,521.97 CF

### PROPOSED GRADING, DRAINAGE & UTILITY PLAN

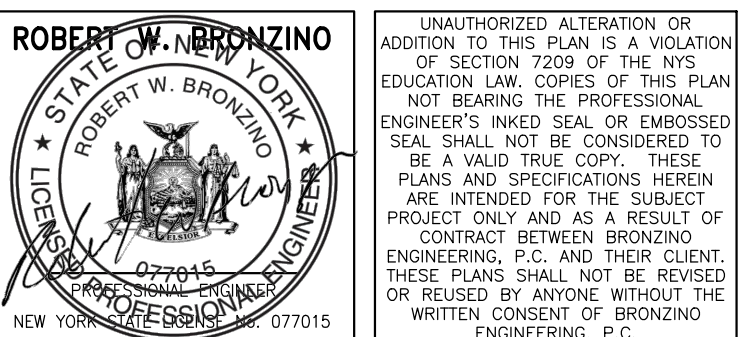
SCALE: 1" = 10 FEET

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235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

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**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION 375 MAIN STREET ARMONK, NY**

SECTION:	2	BLOCK:	11
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**PROPOSED GRADING, DRAINAGE & UTILITY PLAN**

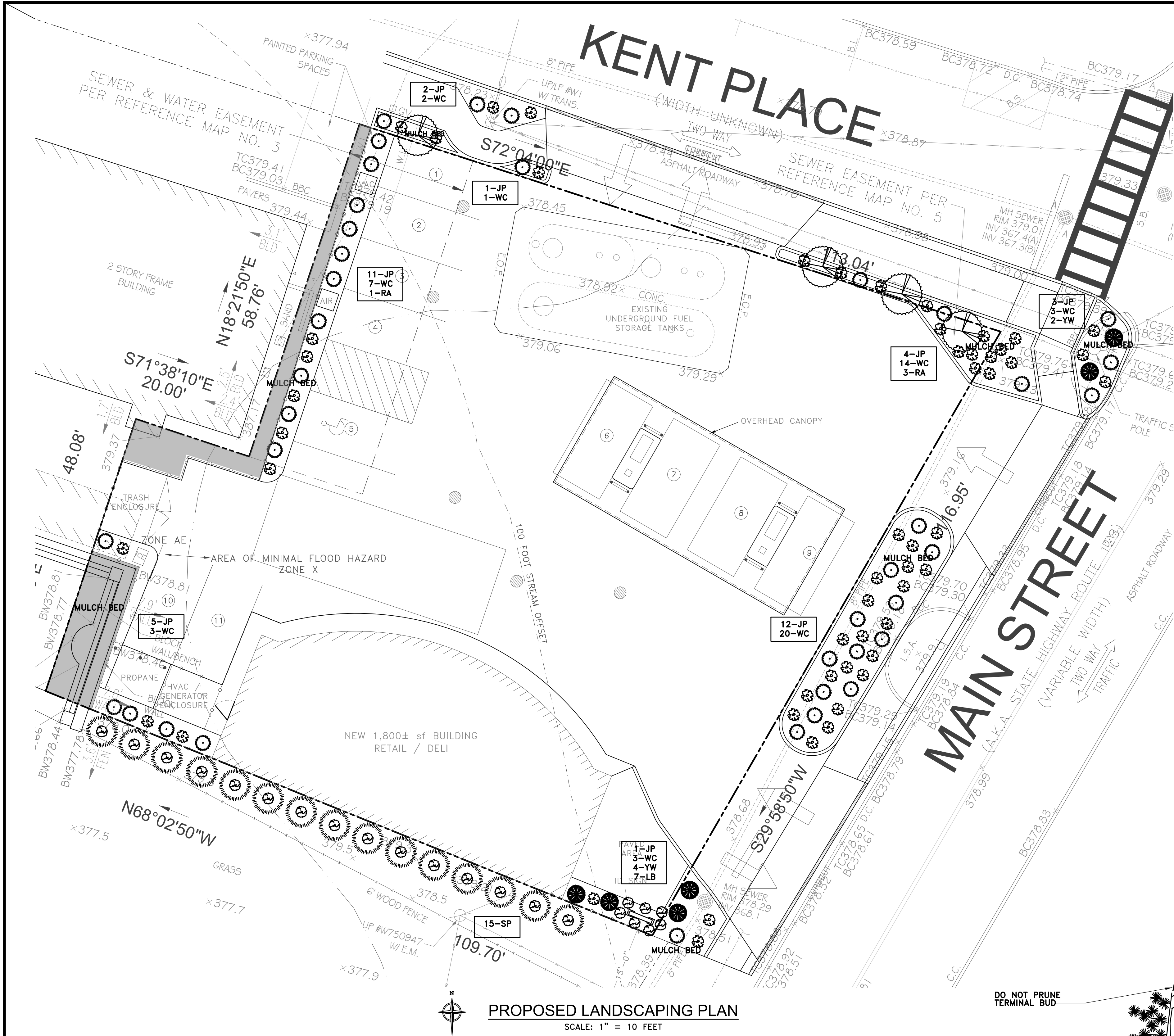
PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:

**C-004.00**

SHEET NO:  
**4 OF 15**

B-SCAN





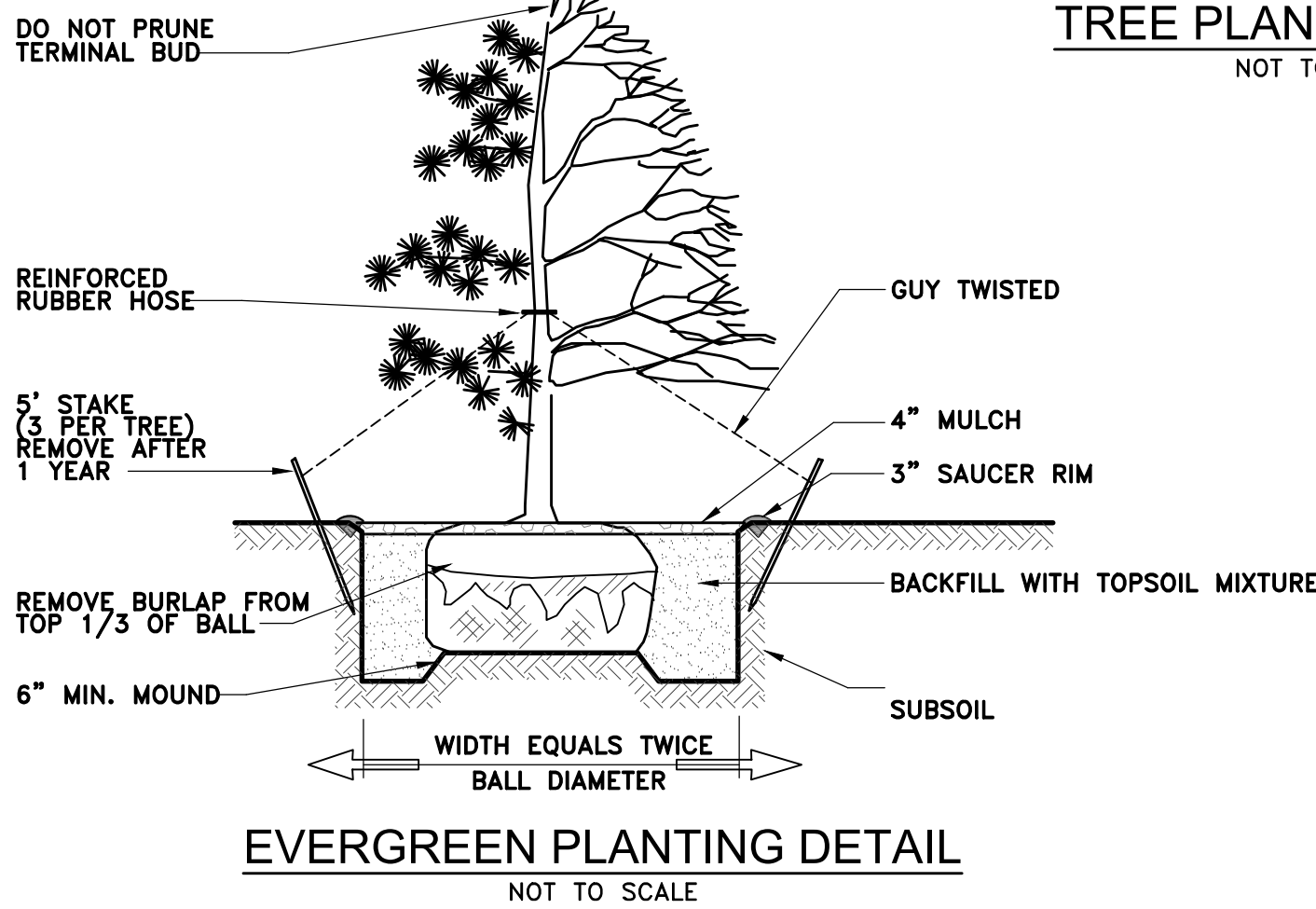
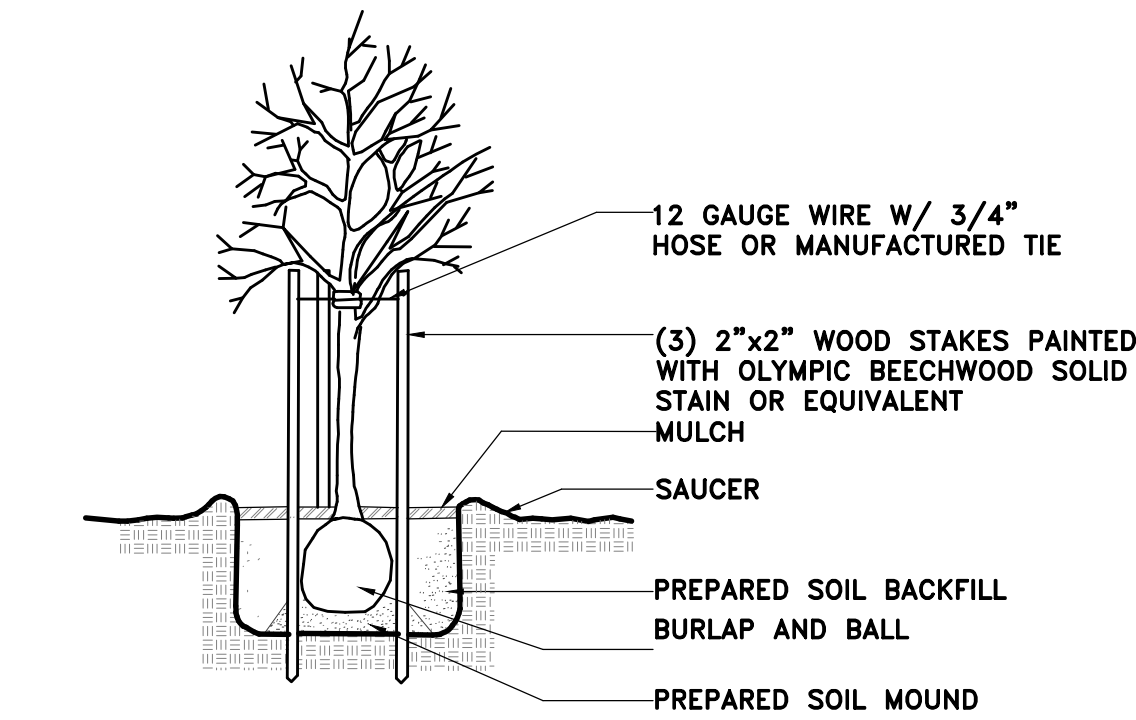
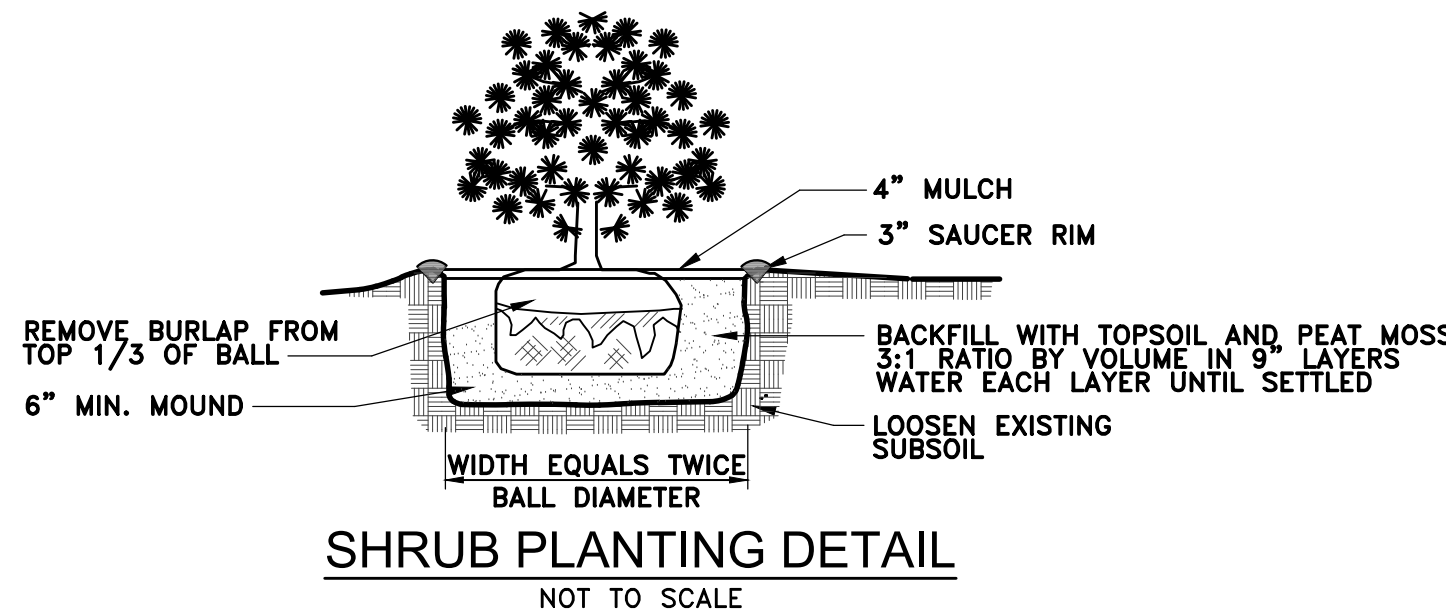
PROPOSED LANDSCAPING PLAN  
SCALE: 1" = 10 FEET

LANDSCAPE LEGEND

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	SIZE
	JP	39	JUNIPERUS HORIZONTALIS "PLUMOSA"	ANDORRA JUNIPER	18"-24" O.C.	12"-18" HIGH
	WC	52	JUNIPERUS HORIZONTALIS "WILTONII"	WILTON CARPET JUNIPER	18"-24" O.C.	LESS THAN 6" HIGH
	YW	6	TAXUS BACCATA	ENGLISH YEWE	5' O.C.	30"-36" HIGH
	LB	7	LINDERA BENZOIN	SPICE BUSH	3'-4' O.C.	18"-24" HIGH
	RA	3	RETICULATA AMURENSIS JAPONICA	"IVORY SILK" TREE LILAC	N/A	4' TO 5' HIGH 2-1/2" TO 3", B & B
	SP	15	STANDISHII X PLICATA	GREEN GIANT ARBORVITAE	5'-6'	4' TO 5' HIGH 2-1/2" TO 3", B & B
	FA		FLOWERING ANNUALS (IF REQUIRED)			

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. NO PLANTS SHALL BE INSTALLED BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT OR EQUAL.
4. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING, AND AGAIN AT THE BEGINNING OF THEIR FIRST WINTER.
5. ALL PLANTS SHALL BE INSTALLED AS PER THE DETAILS AND CONTRACT SPECIFICATIONS.
6. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
7. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
8. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" OF SHREDDED BARK MULCH OVER A SYNTHETIC WEED BARRIER FABRIC.
9. THE CONTRACTOR SHALL FURNISH A ONE YEAR WARRANTY ON ALL PLANT MATERIALS.
10. ALL PLANT MATERIALS SHALL BE INSTALLED USING STANDARD ACCEPTABLE LANDSCAPE PRACTICES.
11. ALL EXISTING TREES AND WOODED AREAS AS DEPICTED SHALL BE RETAINED UNLESS SPECIFIED ELSEWHERE ON THIS PLAN. WHERE REQUIRED, EXISTING TREES SHALL BE APPROPRIATELY TRIMMED TO ACCOMMODATE CONSTRUCTION AND PEDESTRIAN USE OF SIDEWALK.
12. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION. ANY NEW PLANTS NOT SO MAINTAINED ARE TO BE REPLACED WITH PLANTS OF COMPARABLE TYPE AND SIZE AT THE BEGINNING OF THE NEXT GROWING SEASON.
13. NO PLANTINGS AT THE DRIVEWAYS SHALL VIOLATE ANY LINES OF SIGHT.
14. ALL PROPOSED SODDED AREAS SHALL CONSIST OF TOPSOIL, LIME, FERTILIZER AND SOD.
15. PROPOSED FROST PROOF LAWN HYDRANTS SHALL BE SPACED SO THAT ALL LANDSCAPED AREAS CAN BE WATERED WITH A 75 FOOT LENGTH HOSE. (PROVIDED BY OWNER).
16. STAKES TO BE DRIVEN INTO UNDISTURBED SOIL.
17. PRUNE ALL BROKEN OR DAMAGED BRANCHES.
18. GROUND LINE TO BE THE SAME AS EXISTED AT NURSERY.
19. FOLLOW DETAIL ABOVE FOR SHRUB PLANTING NO STAKING NECESSARY.
20. MATERIALS WITH A FALL PLANTING HAZARD SHALL BE HANDLED ACCORDINGLY.
21. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
22. PURSUANT TO TOWN CODE, ALL LANDSCAPING AS SHOWN ON AN APPROVED SITE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH HEALTHY NEW PLANTS OF COMPARABLE SIZE, TYPE AND QUALITY AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
23. ADDITIONAL LANDSCAPING MAY BE REQUIRED SUBSEQUENT TO POST-CONSTRUCTION LANDSCAPING INSPECTION(S) TO INSURE CONFORMANCE WITH THE REQUIREMENT OF THE TOWN CODE.



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No.	DESCRIPTION	DATE
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**ROBERT W. BRONZINO**  
STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
077015

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**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**  
375 MAIN STREET  
ARMONK, NY

SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED LANDSCAPING PLAN**

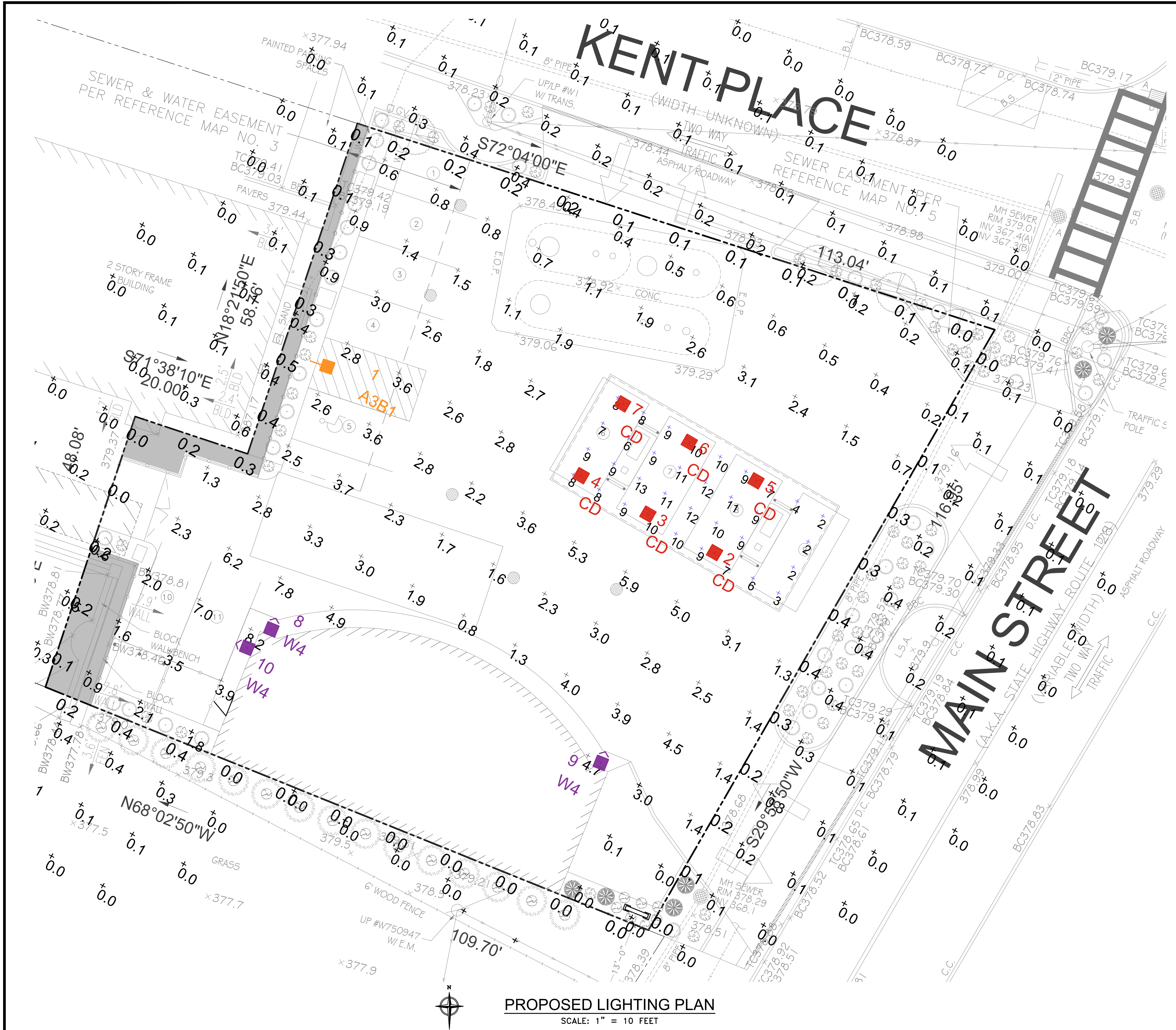
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DRAWING NO:  
**C-005.00**

SHEET NO:  
**5 OF 15**

B-SCAN





PROPOSED LIGHTING PLAN  
SCALE: 1" = 10 FEET

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	1	A3B1	SINGLE	5083	1.030	1.000	1.030	B1-U0-G2	70	70	CREE, INC.	ARE-EDG-3MB-DA-04-E-UL-XX-525
	6	CD	SINGLE	7349	1.030	0.400	0.412	B2-U0-G1	21.76	130.56	CREE, INC.	CAN-304-SL-RS-04-E-UL-XX-525-57K-DIM (SET @ 3.0V)
	3	W4	SINGLE	4270	1.030	1.000	1.030	B1-U0-G1	31	93	CREE, INC.	XSPW-B-WM-4ME-4L-57K-UL-XX

SEE DRAWING C-015 FOR  
LIGHTING FIXTURE DETAILS AND  
SPECIFICATIONS

LUM NO.	LABEL	MTG. HT.
1	A3B1	15
2	CD	15
3	CD	15
4	CD	15
5	CD	15
6	CD	15
7	CD	15
8	W4	12
9	W4	12
10	W4	12

LIGHTING NOTES

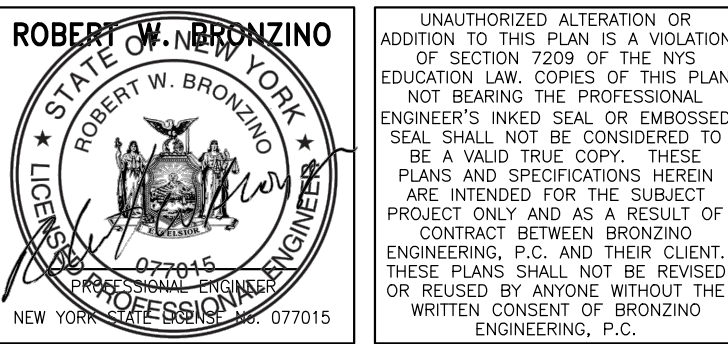
- ILLUMINATION LEVELS ARE THE RESULT OF REQUESTS BY OTHERS. RED LEONARD ASSOCIATES / BRONZINO ENGINEERING, P.C. IS NOT RESPONSIBLE FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING AND DOES NOT RECOMMEND THESE LEVELS FOR SECURITY AND SAFETY REASONS.
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES

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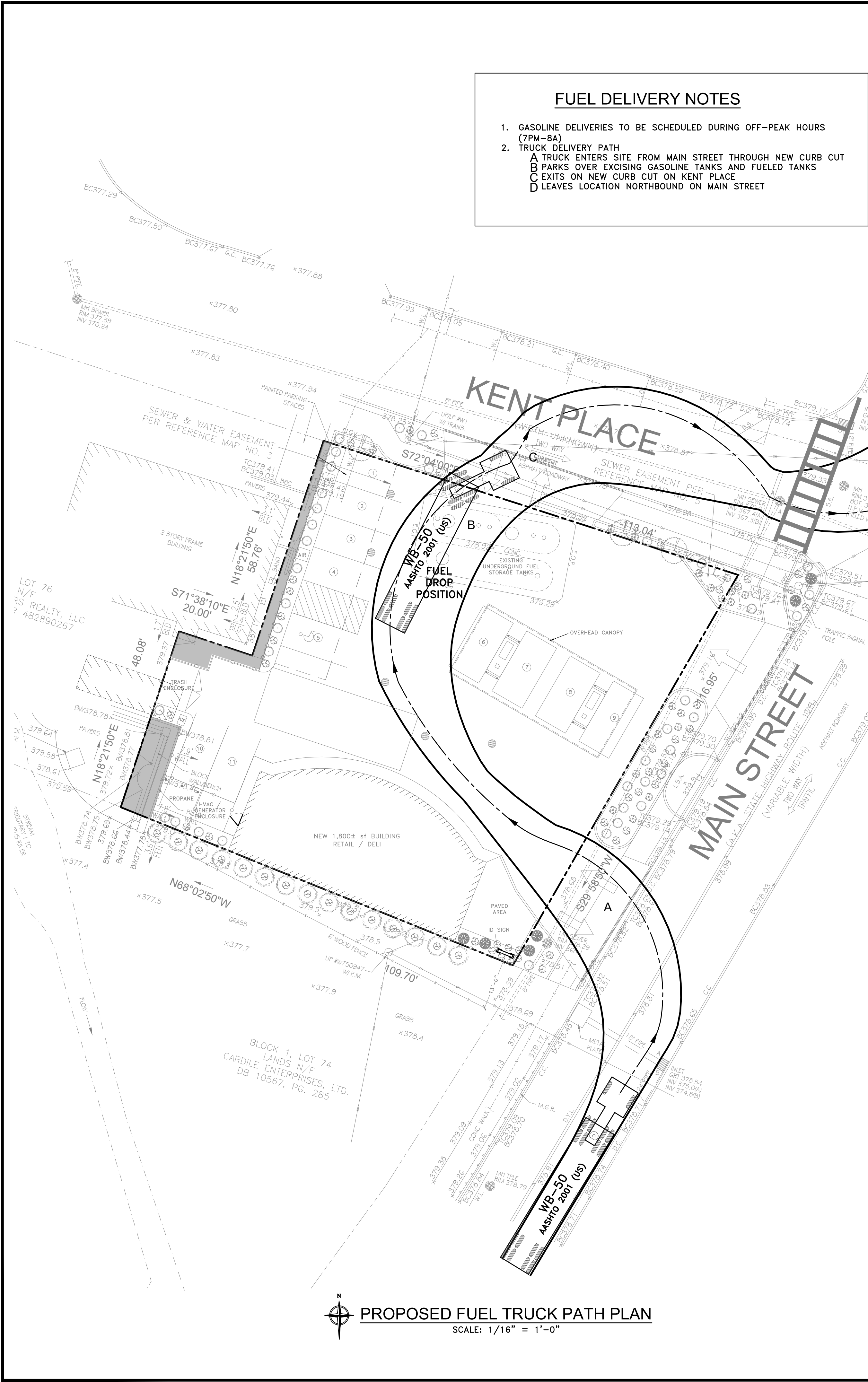
SECTION:	2	BLOCK:	11
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DRAWING TITLE:  
**PROPOSED LIGHTING  
PLAN**

PROJECT #: 190906  
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**6 OF 15**

B-SCAN



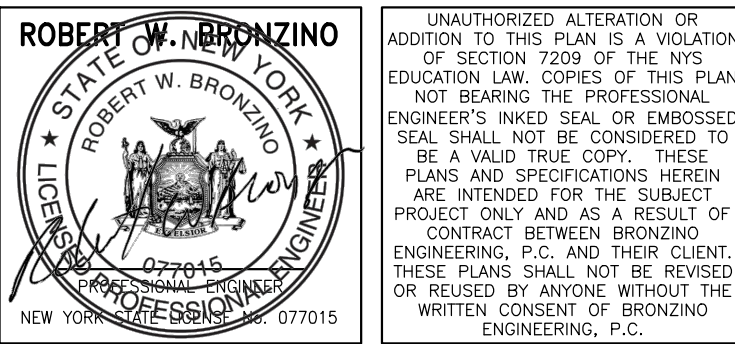


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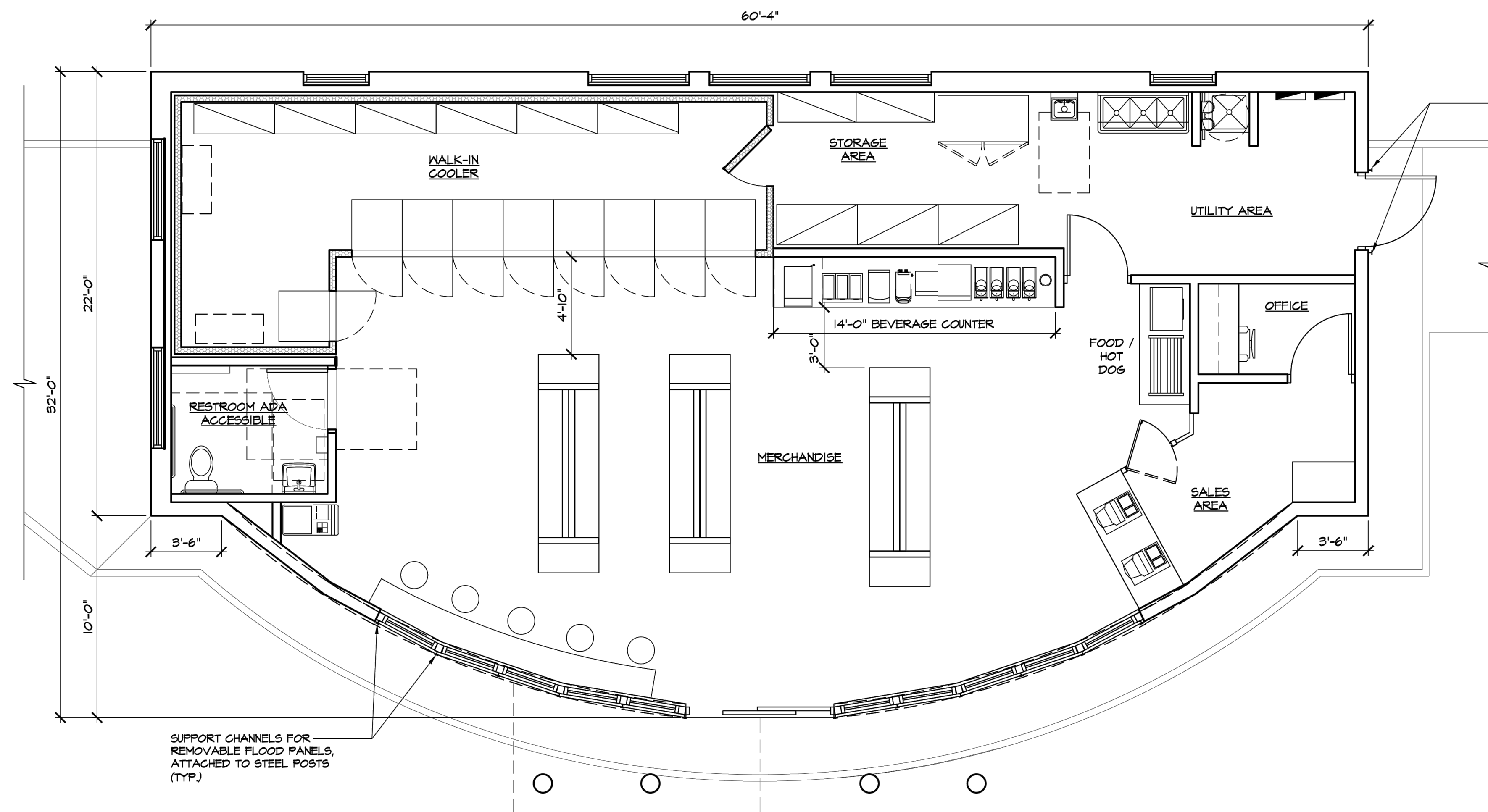
SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED FUEL  
TRUCK PATH PLAN**

PROJECT #: 190906  
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**C-007.00**  
SHEET NO:  
**7 OF 15**

B-SCAN





PROPOSED BUILDING FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**BRONZINO ENGINEERING, P.C.**  
100-3 SOUTH JERSEY AVE.  
EAST SETAUKET, NY 11733  
631-751-8299

CLIENT  
**NY DEALER STATIONS**  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

ALL DRAWINGS ARE TO BE  
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No.	DESCRIPTION	DATE
1	REVISED FOR TOWN FILING	9/11/20

ROBERT W. BRONZINO  
STATE OF NEW YORK  
LICENSED PROFESSIONAL ENGINEER  
077015  
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DOB APPROVAL:

PROJECT:  
**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**  
375 MAIN STREET  
ARMONK, NY

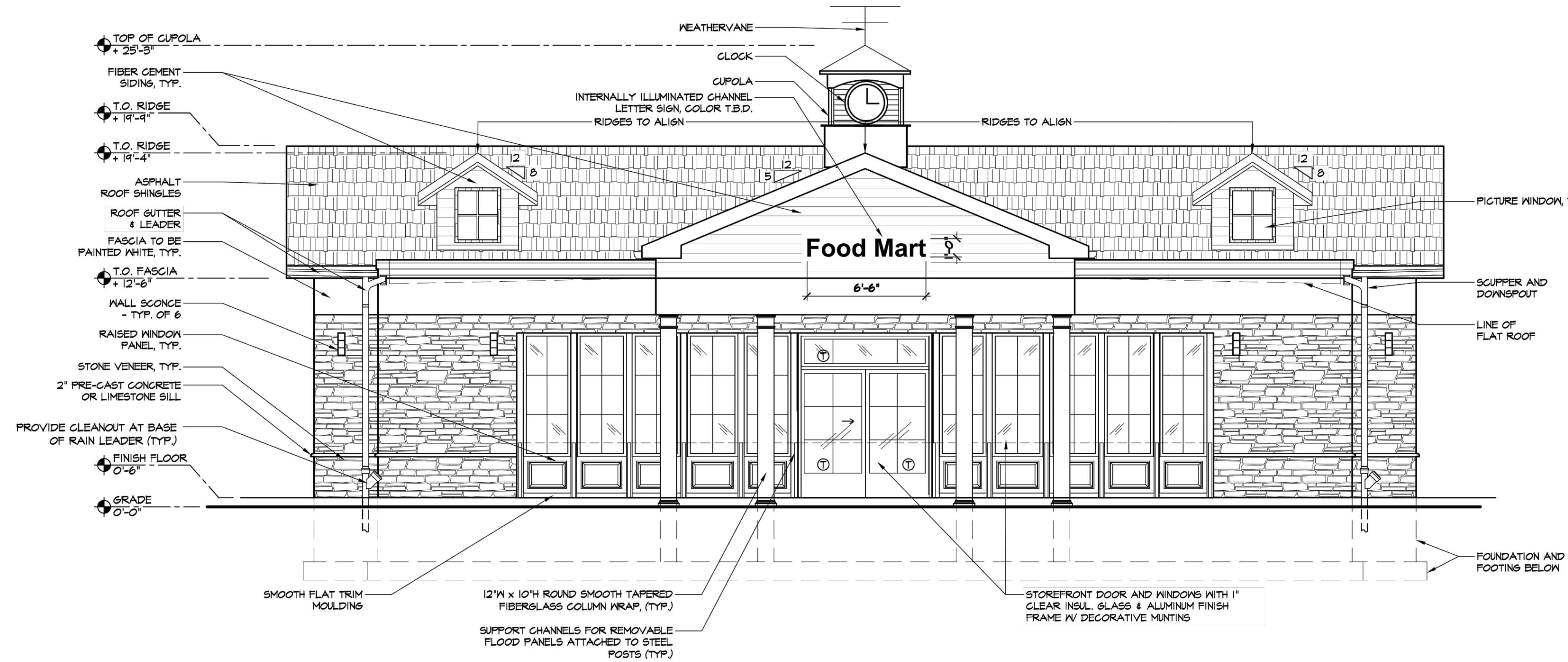
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LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED BUILDING FLOOR PLAN**

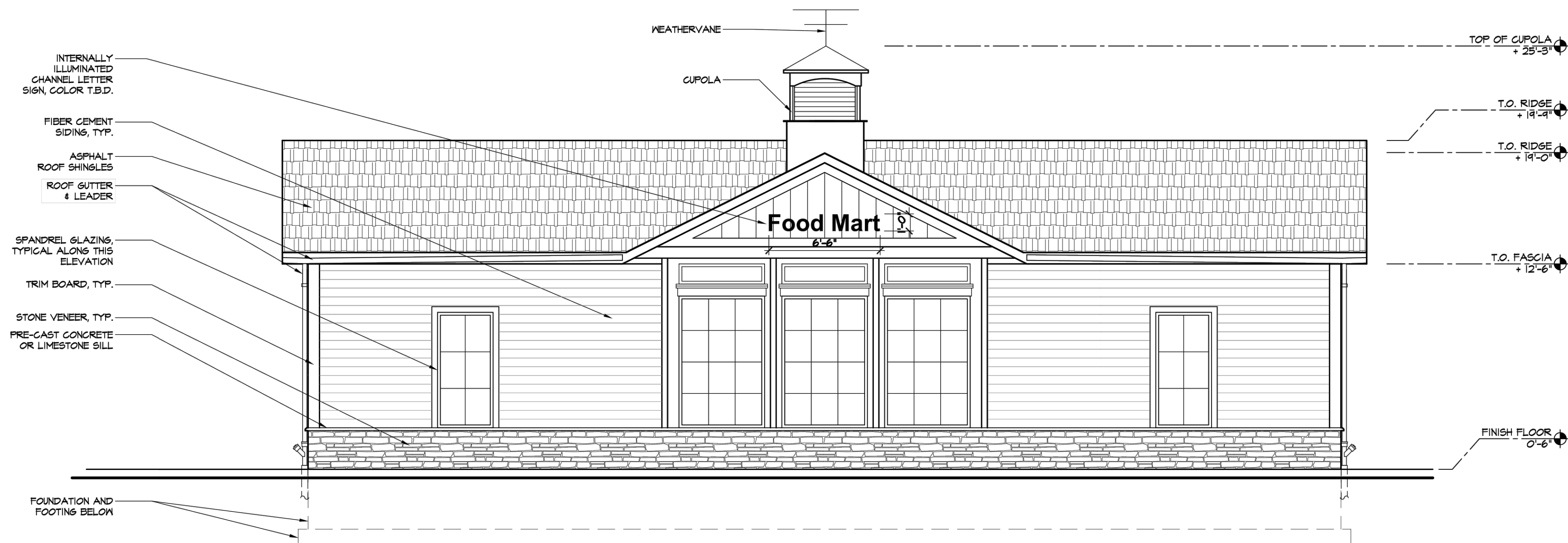
PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:  
**C-008.00**  
SHEET NO:  
**8 OF 15**

B-SCAN





PROPOSED NORTH ELEVATION (KENT PLACE)  
SCALE: 1/4" = 1'-0"



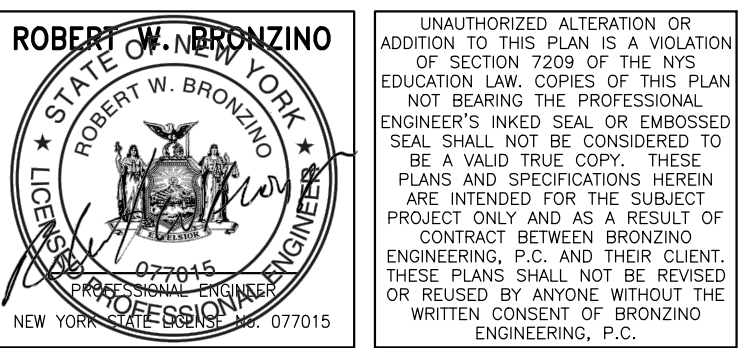
PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

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631-751-8299

CLIENT  
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**PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY**

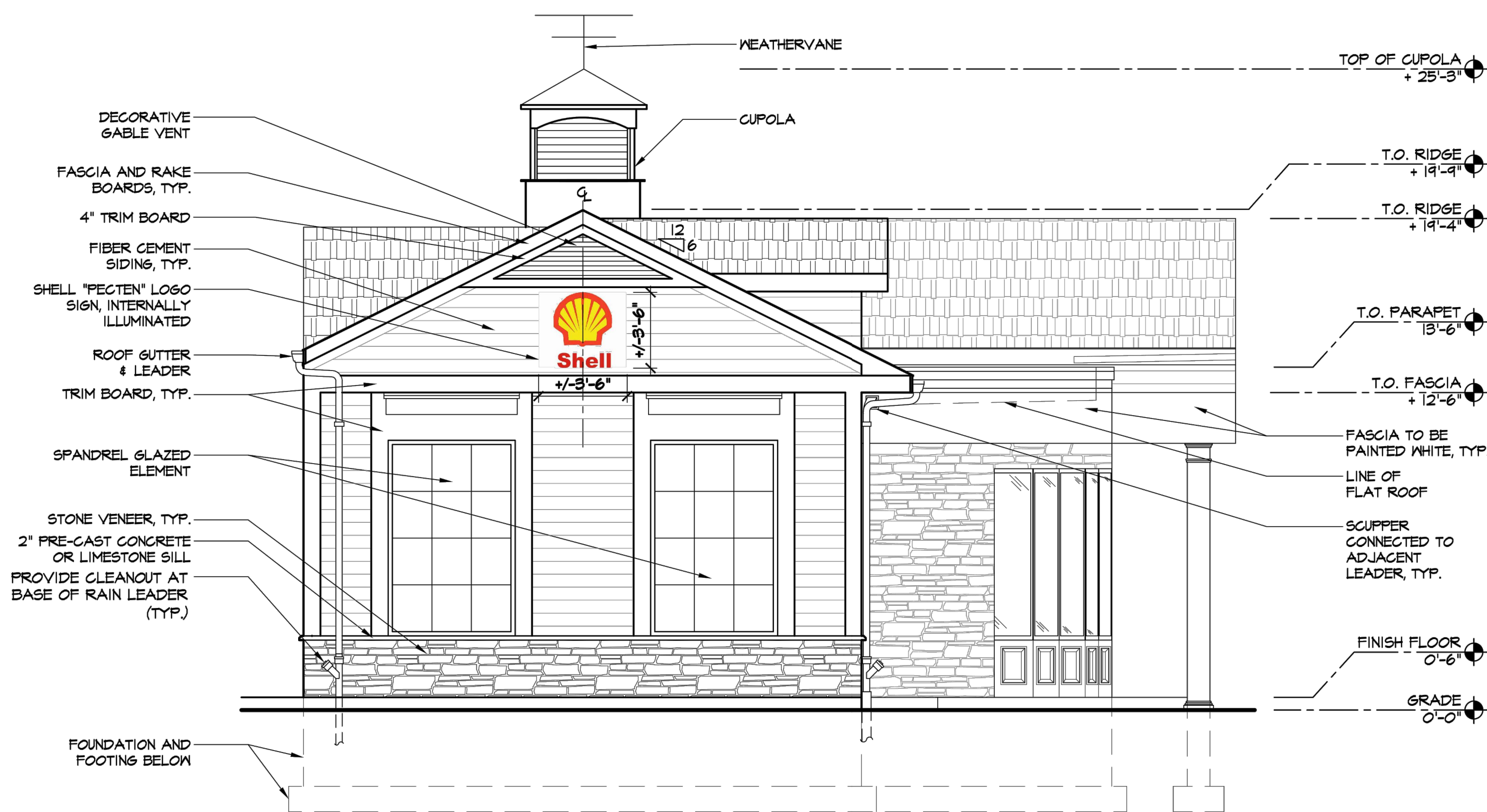
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LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED BUILDING  
ELEVATIONS I**

PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:  
**C-009.00**  
SHEET NO:  
**9 OF 15**

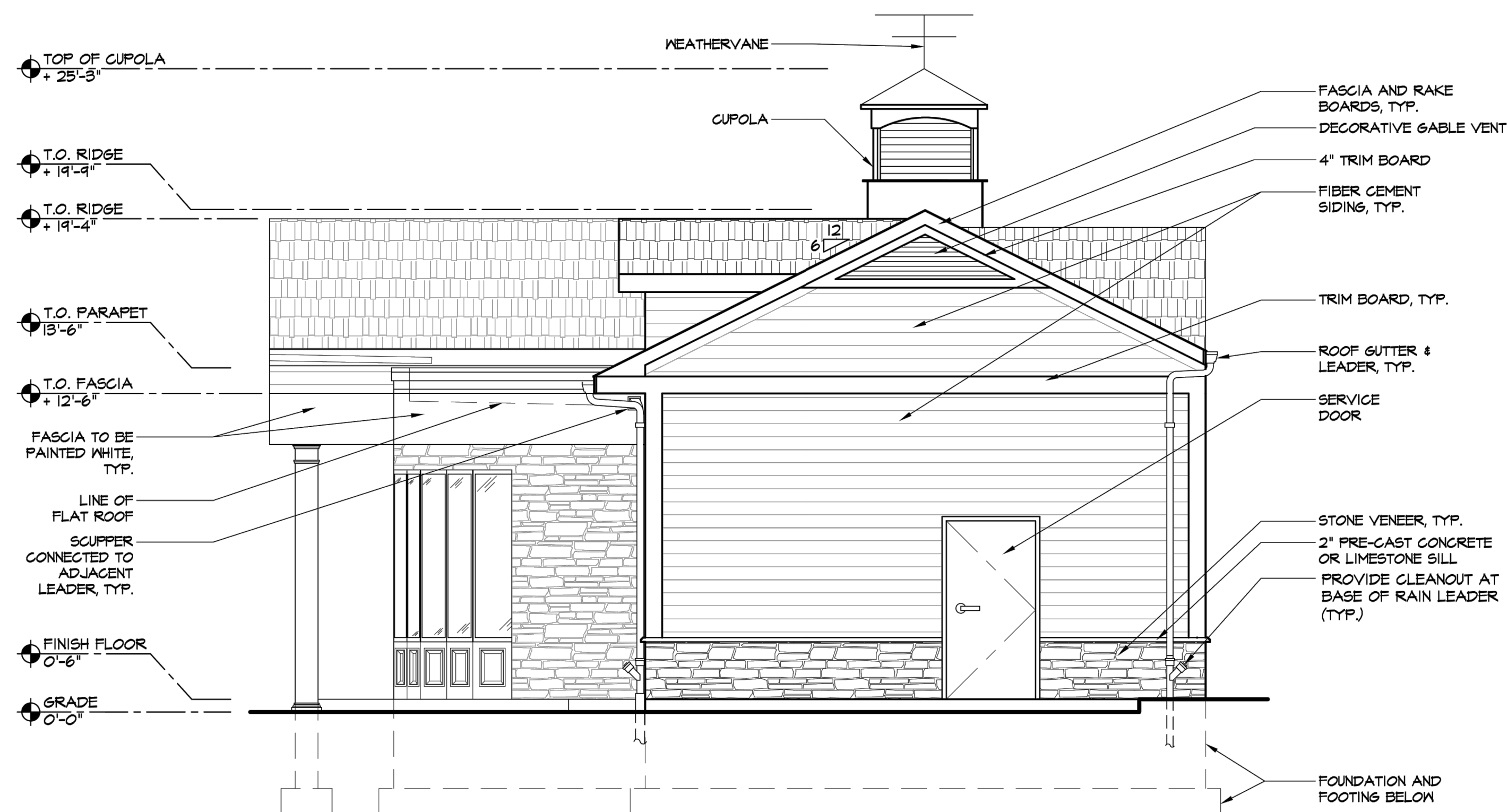
B-SCAN





PROPOSED EAST ELEVATION (MAIN STREET)

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

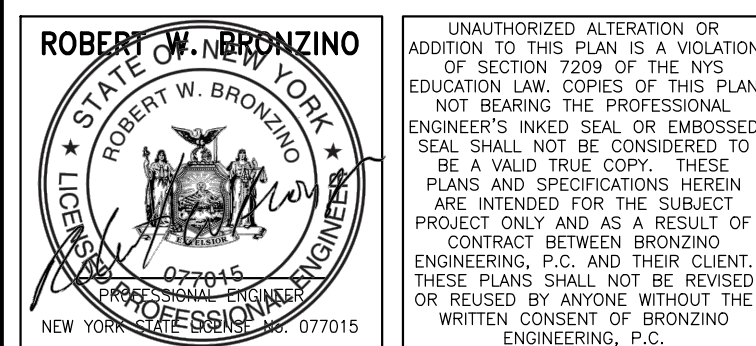
BRONZINO ENGINEERING, P.C.

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EAST SETAUKET, NY 11733  
631-751-8299

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NY DEALER STATIONS  
235 MAMARONECK AVE.  
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PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

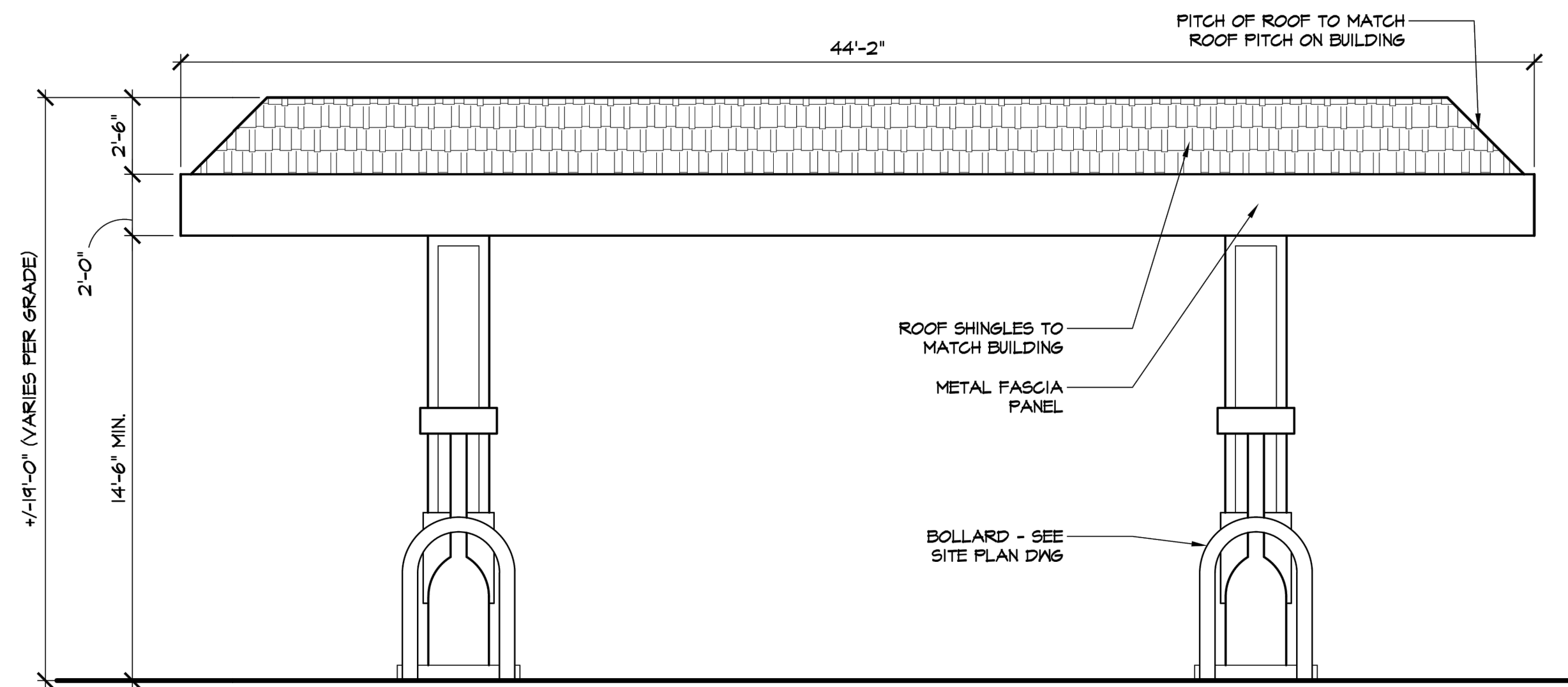
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LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
PROPOSED BUILDING  
ELEVATIONS II

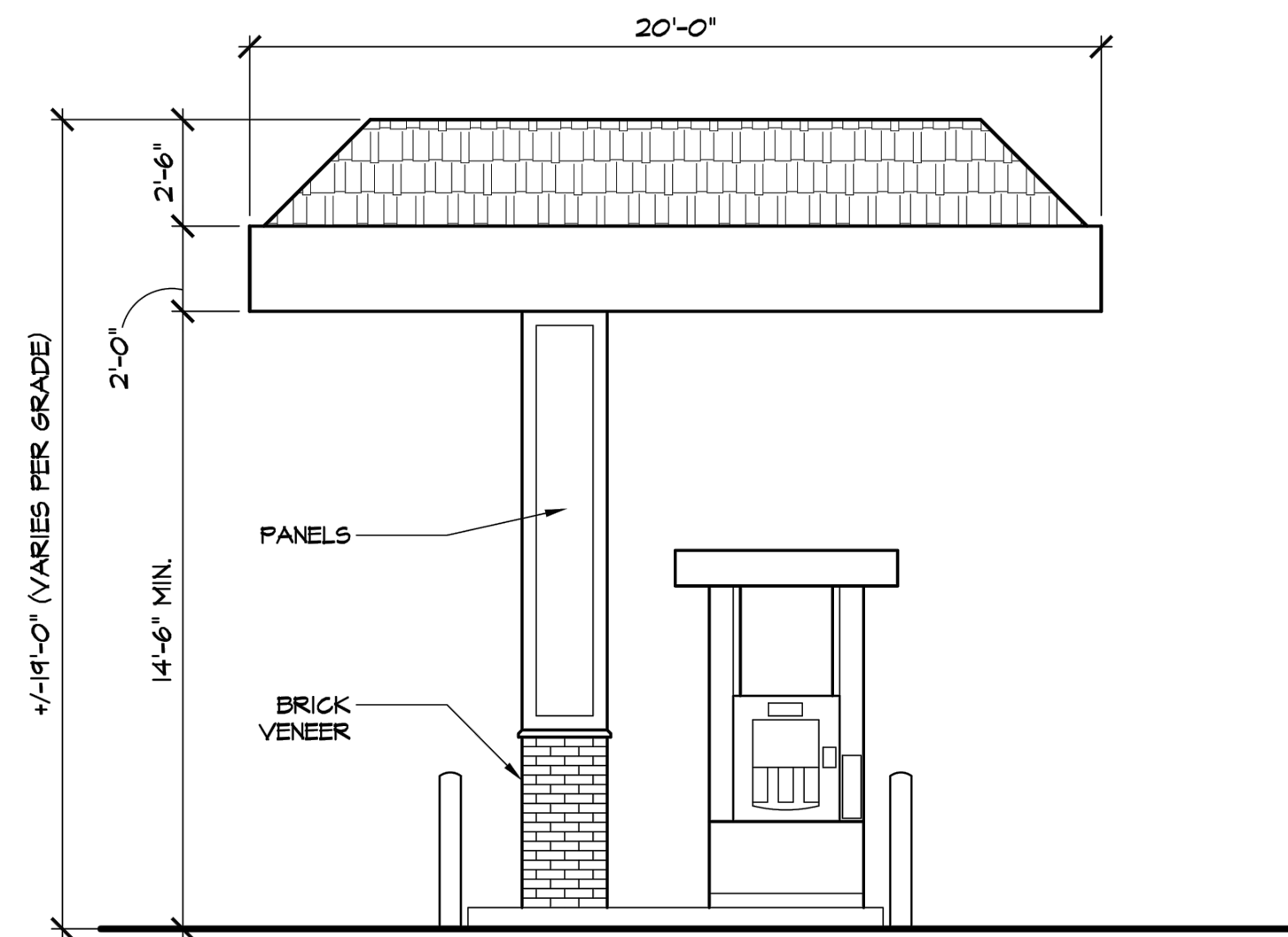
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SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:  
C-010.00  
SHEET NO:  
10 OF 15

B-SCAN

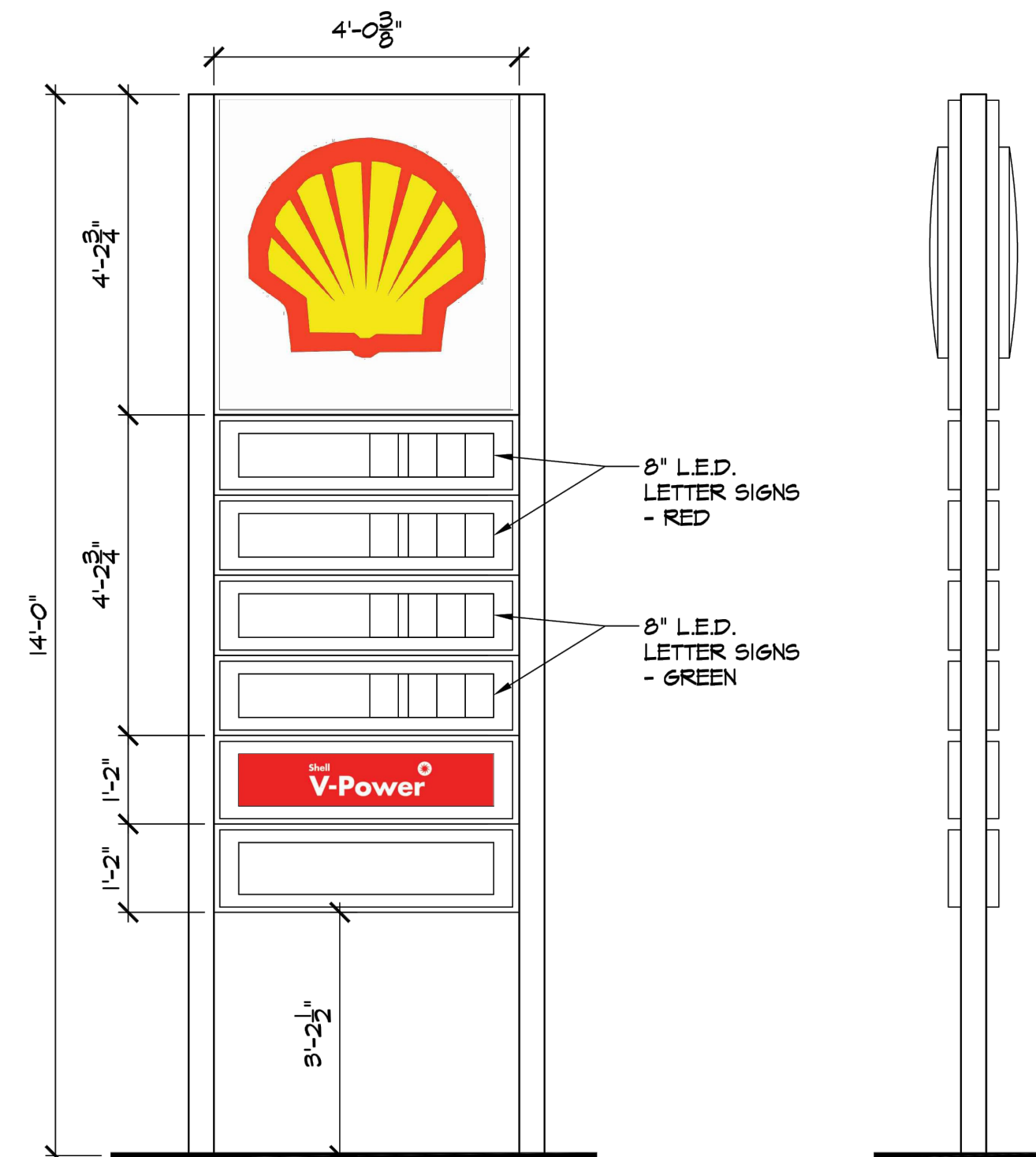




PROPOSED CANOPY NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

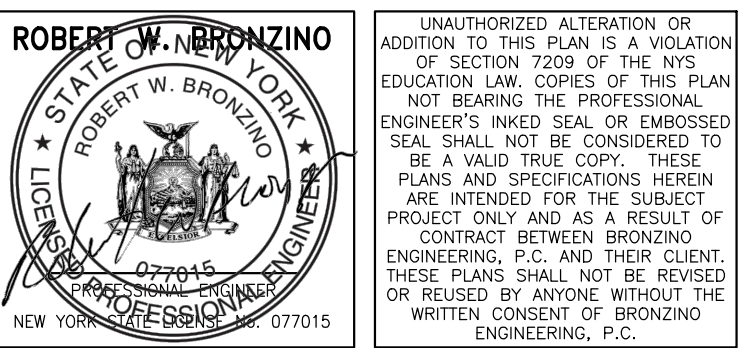


PROPOSED CANOPY EAST ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED ID SIGN ELEVATIONS  
SCALE: 1/2" = 1'-0"

No.	DESCRIPTION	DATE
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PROJECT:  
**PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
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ARMONK, NY**

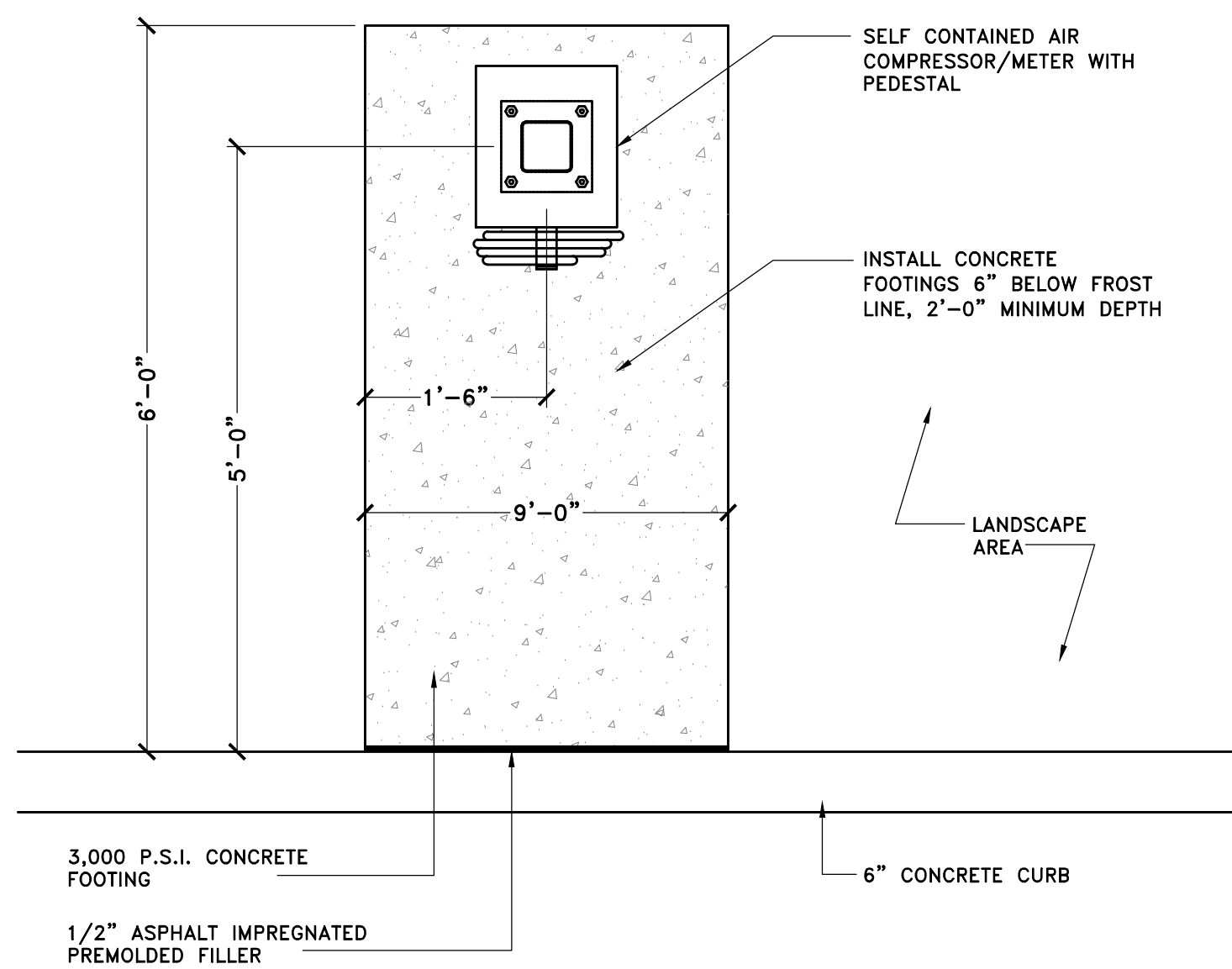
SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED CANOPY  
ELEVATIONS AND  
SIGNAGE DETAILS**

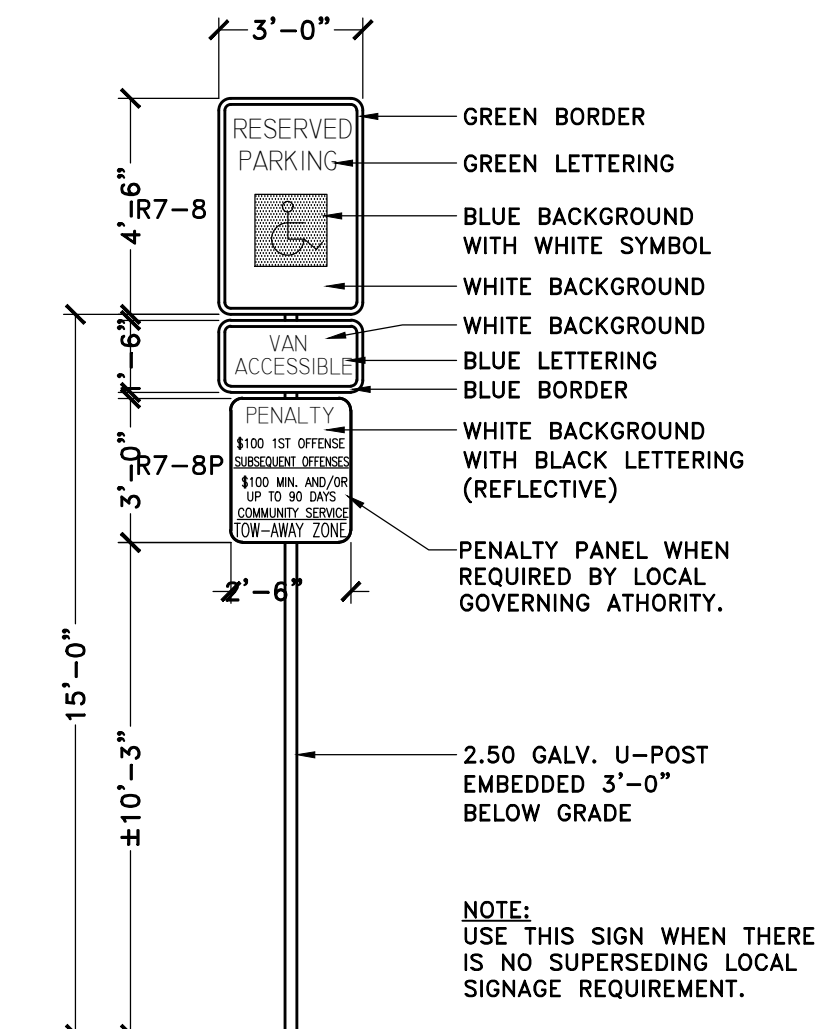
PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20
DRAWING NO:	<b>C-011.00</b>
SHEET NO:	<b>11 OF 15</b>

B-SCAN

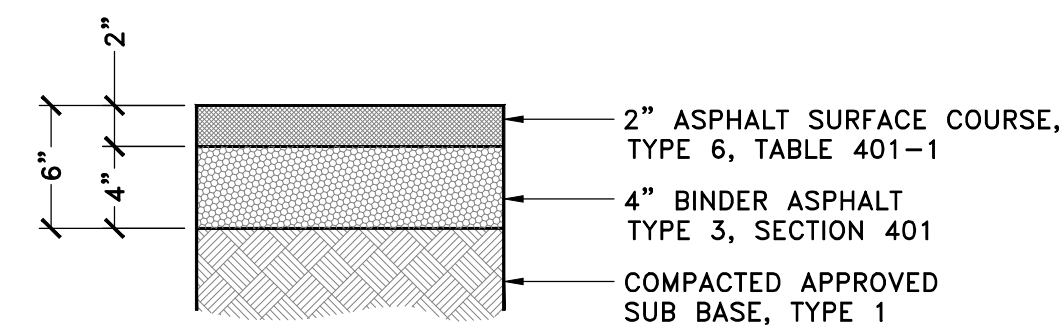




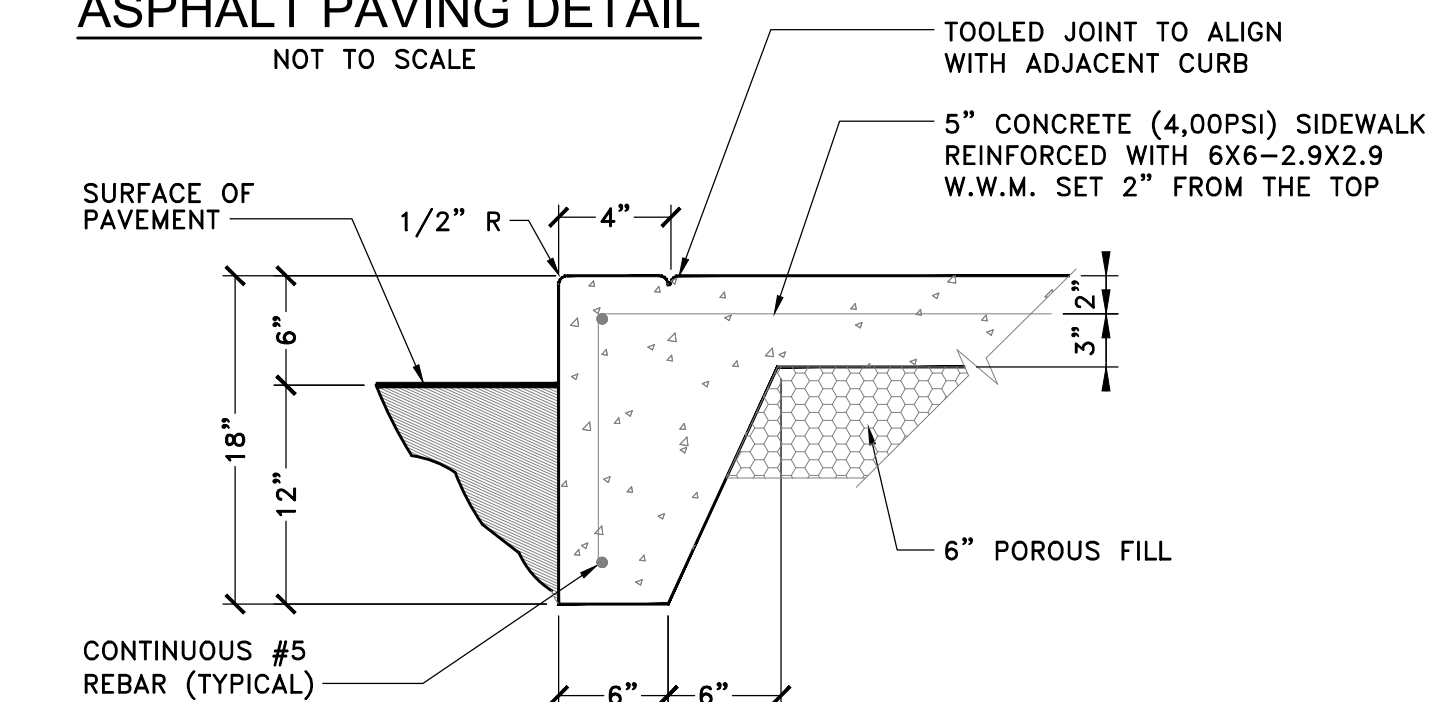
PLAN VIEW  
**AIR TOWER PAD**  
SCALE: 3/4" = 1'-0"



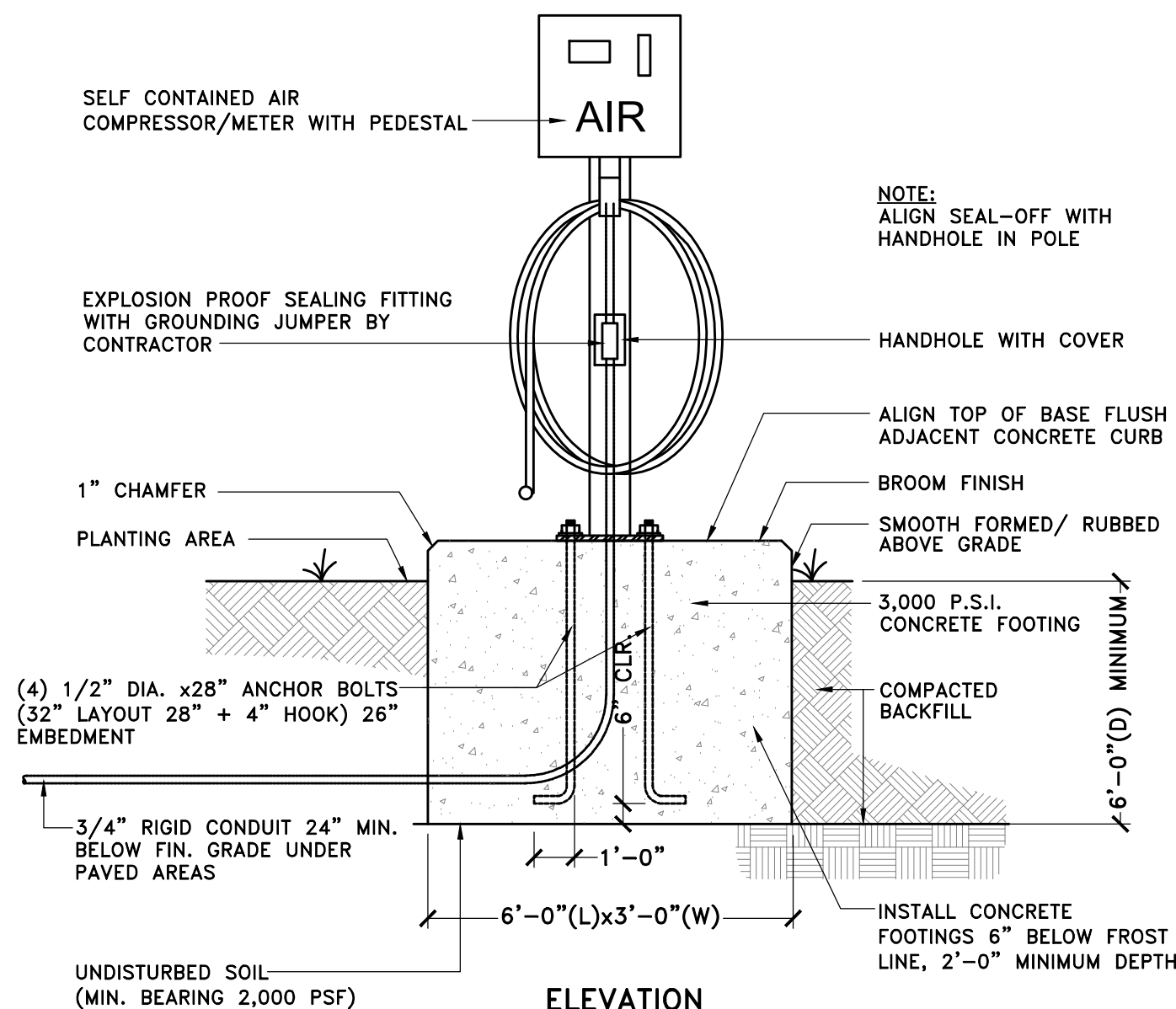
**A.D.A. ACCESSIBLE PARKING SIGN**  
SCALE: 3/4" = 1'-0"



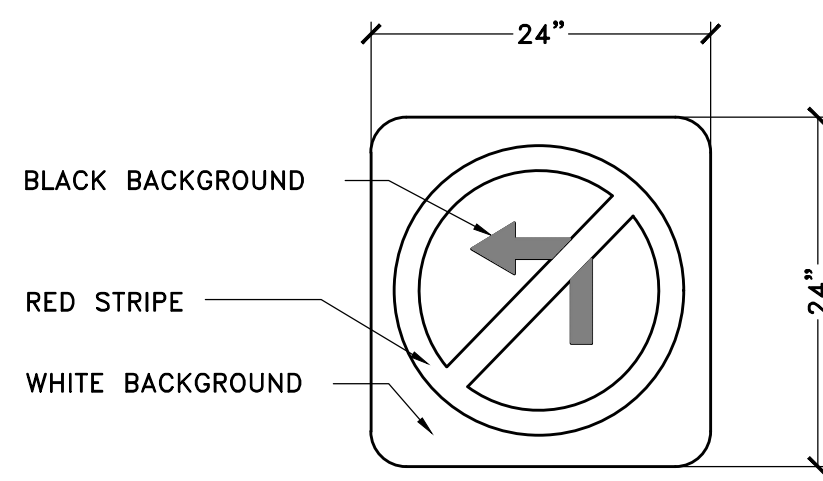
**ASPHALT PAVING DETAIL**  
NOT TO SCALE



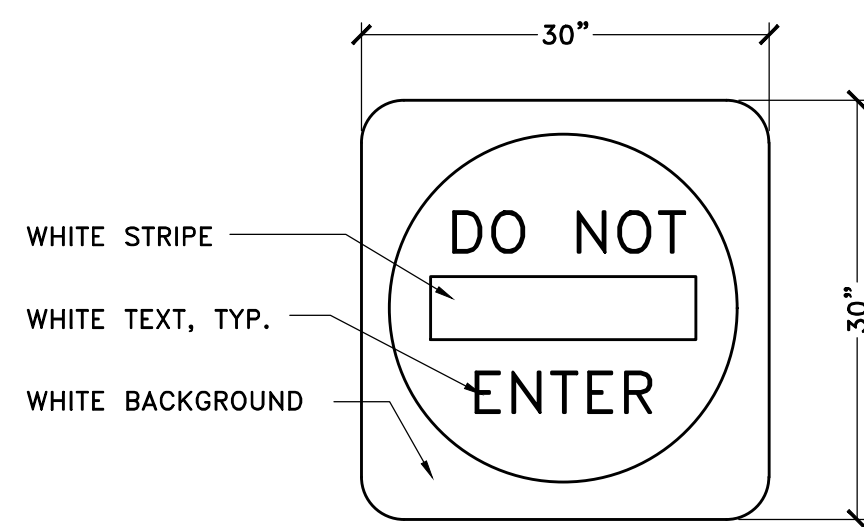
**TOE FOOTING DETAIL**  
NOT TO SCALE



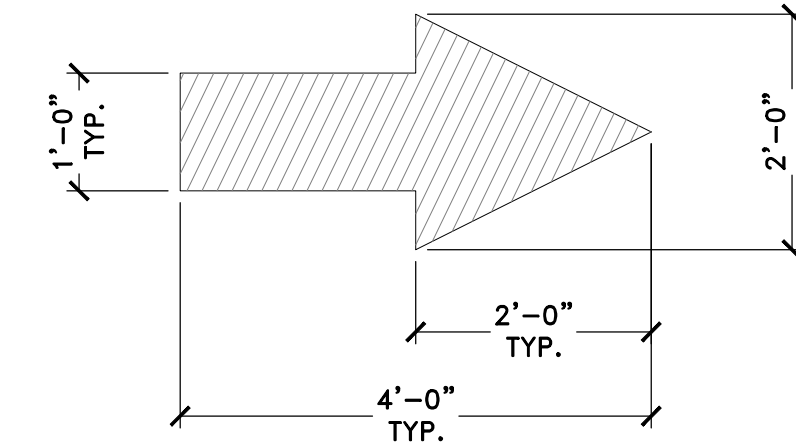
ELEVATION  
**AIR TOWER DETAIL**  
SCALE: 3/4" = 1'-0"



R3-2  
ALL SIGNS TO BE IN ACCORDANCE WITH NYS-MUTC  
**"NO LEFT TURN" SIGN DETAIL**  
NOT TO SCALE

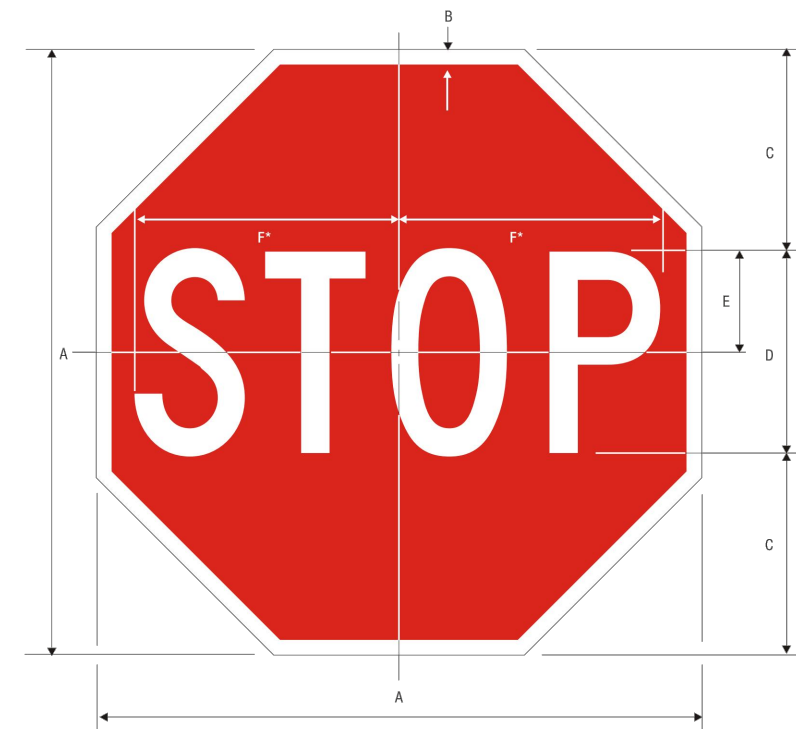


R5-1  
ALL SIGNS TO BE IN ACCORDANCE WITH NYS-MUTC  
**"DO NOT ENTER" SIGN DETAIL**  
NOT TO SCALE



NOTE: PAVEMENT ARROWS TO BE APPLIED WITH WHITE THERMOPLASTIC REFLECTORIZED PAINT (NYS-DOT ITEM # 687.0101)

**PAVEMENT ARROW DETAIL**

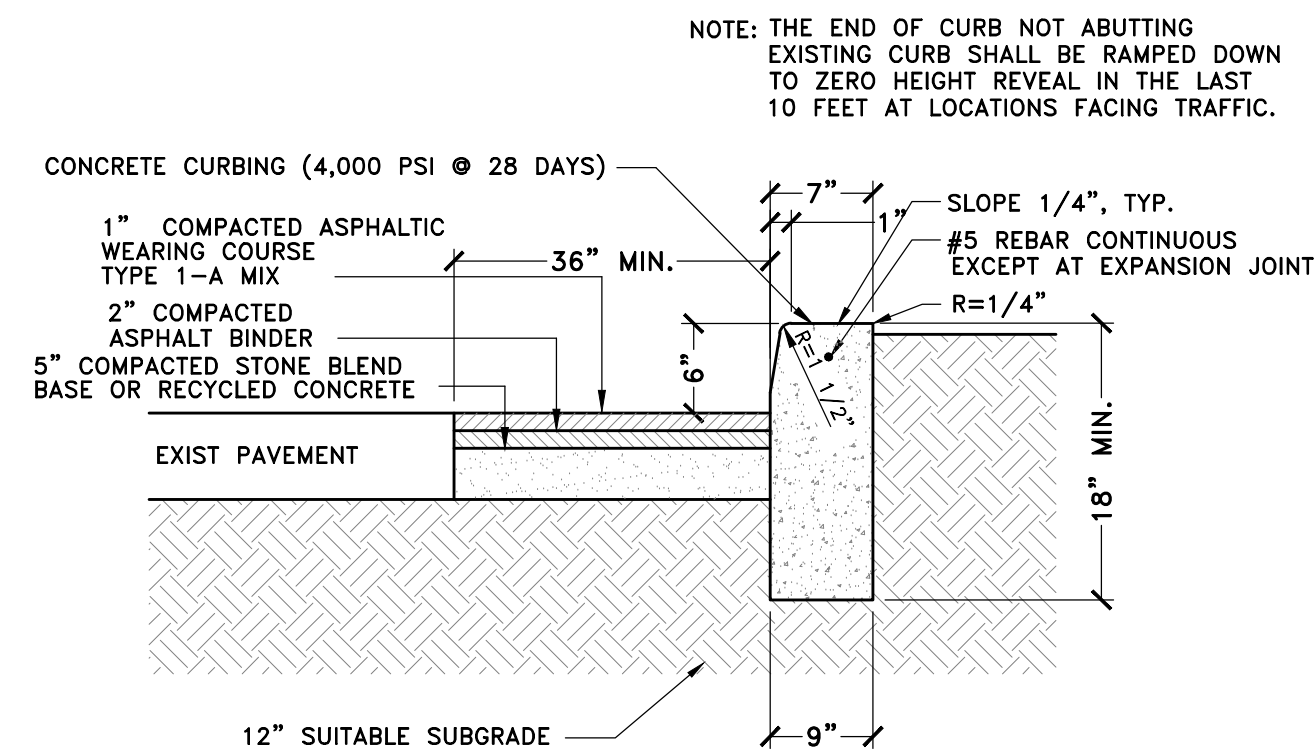


A	B	C	D	E	F
18	30	6	10	3	175
24	42	8	12	4	10
30	54	10	14	5	125
36	66	12	16	6	15
42	78	14	18	8	20

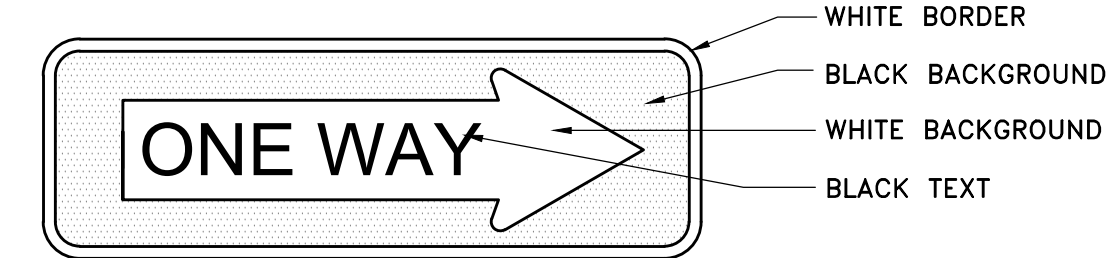
COLORS: LEGEND - WHITE (RETROREFLECTIVE)  
BACKGROUND - RED (RETROREFLECTIVE)

R1-1

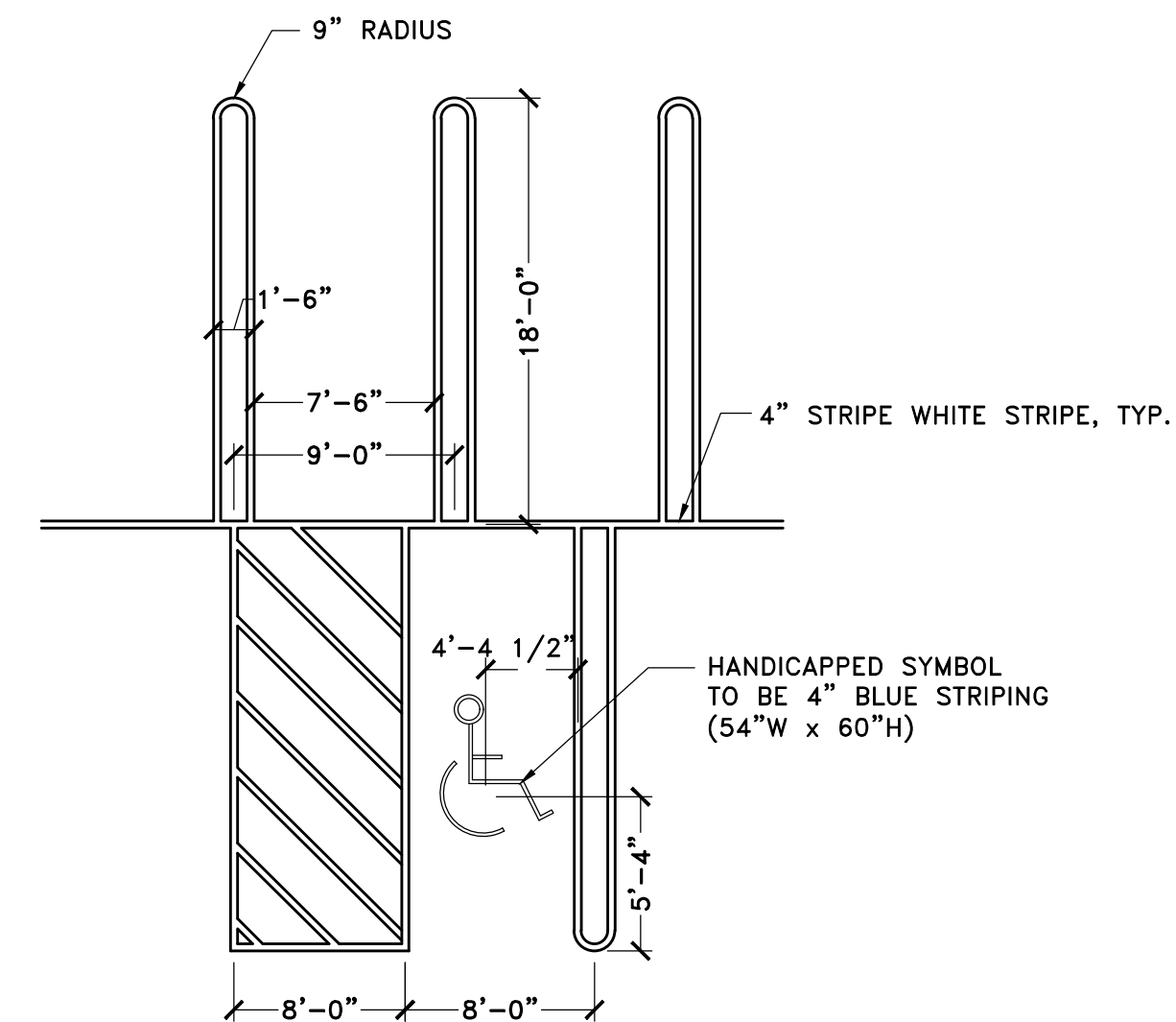
ALL SIGNS TO BE IN ACCORDANCE WITH NYS-MUTC  
**"STOP" SIGN DETAIL**  
NOT TO SCALE



**TOWN OF NEW CASTLE CONCRETE CURB DETAIL**  
NOT TO SCALE



ALL SIGNS TO BE IN ACCORDANCE WITH NYS-MUTC  
**"ONE WAY" SIGN DETAIL**  
NOT TO SCALE



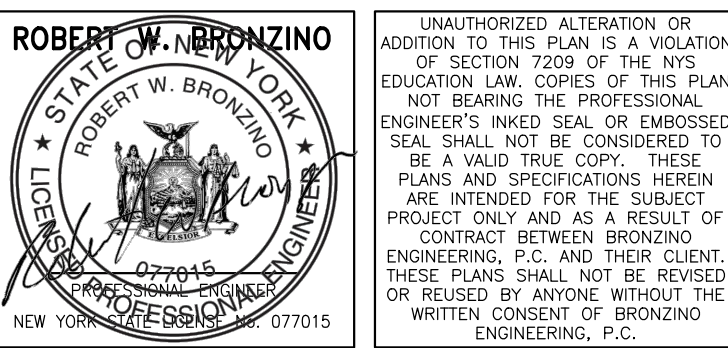
**TOWN OF NEW CASTLE TYPICAL PARKING AND STRIPING DETAIL**  
NOT TO SCALE

**BRONZINO ENGINEERING, P.C.**  
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631-751-8299

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DOB APPROVAL:

PROJECT:  
**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**  
375 MAIN STREET  
ARMONK, NY

SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:

**PROPOSED SITE DETAILS I**

PROJECT #: 190906

SCALE: AS NOTED

DATE: 5/11/20

DRAWING NO:

**C-012.00**

SHEET NO:

**12 OF 15**

B-SCAN





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ROBERT W. BRONZINO  
STATE OF NEW YORK  
ROBERT W. BRONZINO  
077015  
NEW YORK 077015

PROJECT:

PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

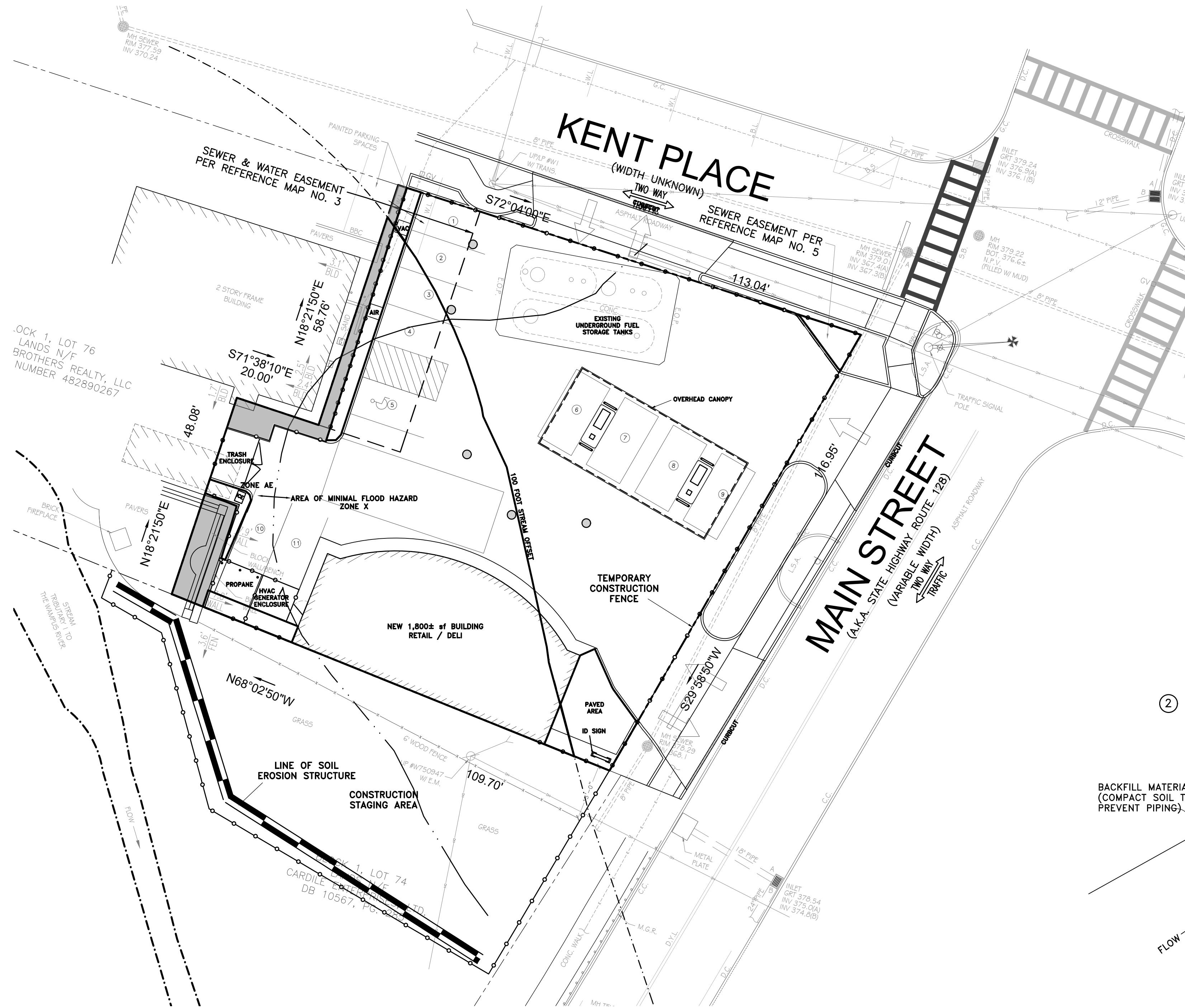
DRAWING TITLE:

PROPOSED SITE  
DETAILS II

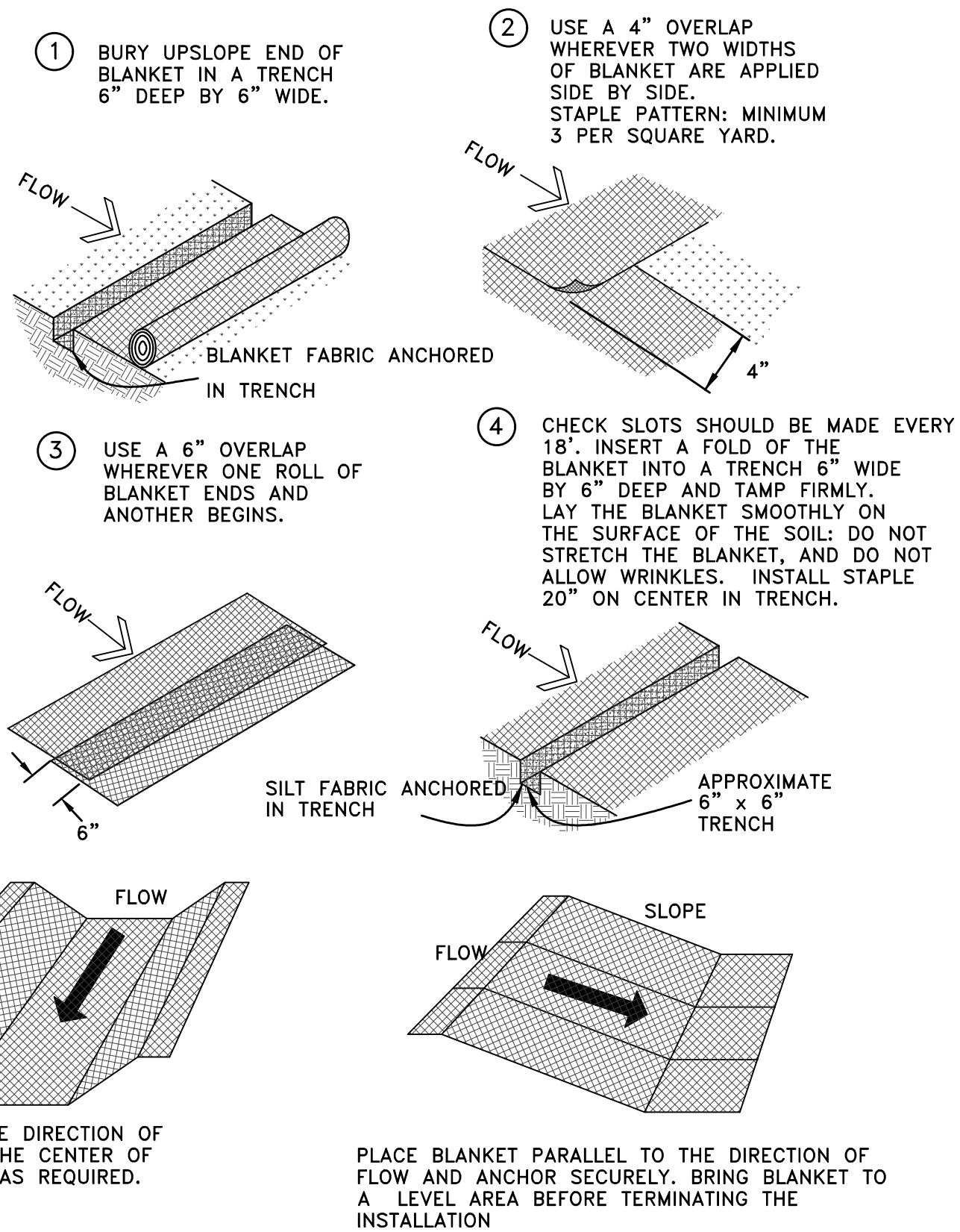
C-013.00  
SHEET NO:  
13 OF 15

**TYPICAL SIGN MOUNTING DETAIL**  
NOT TO SCALE

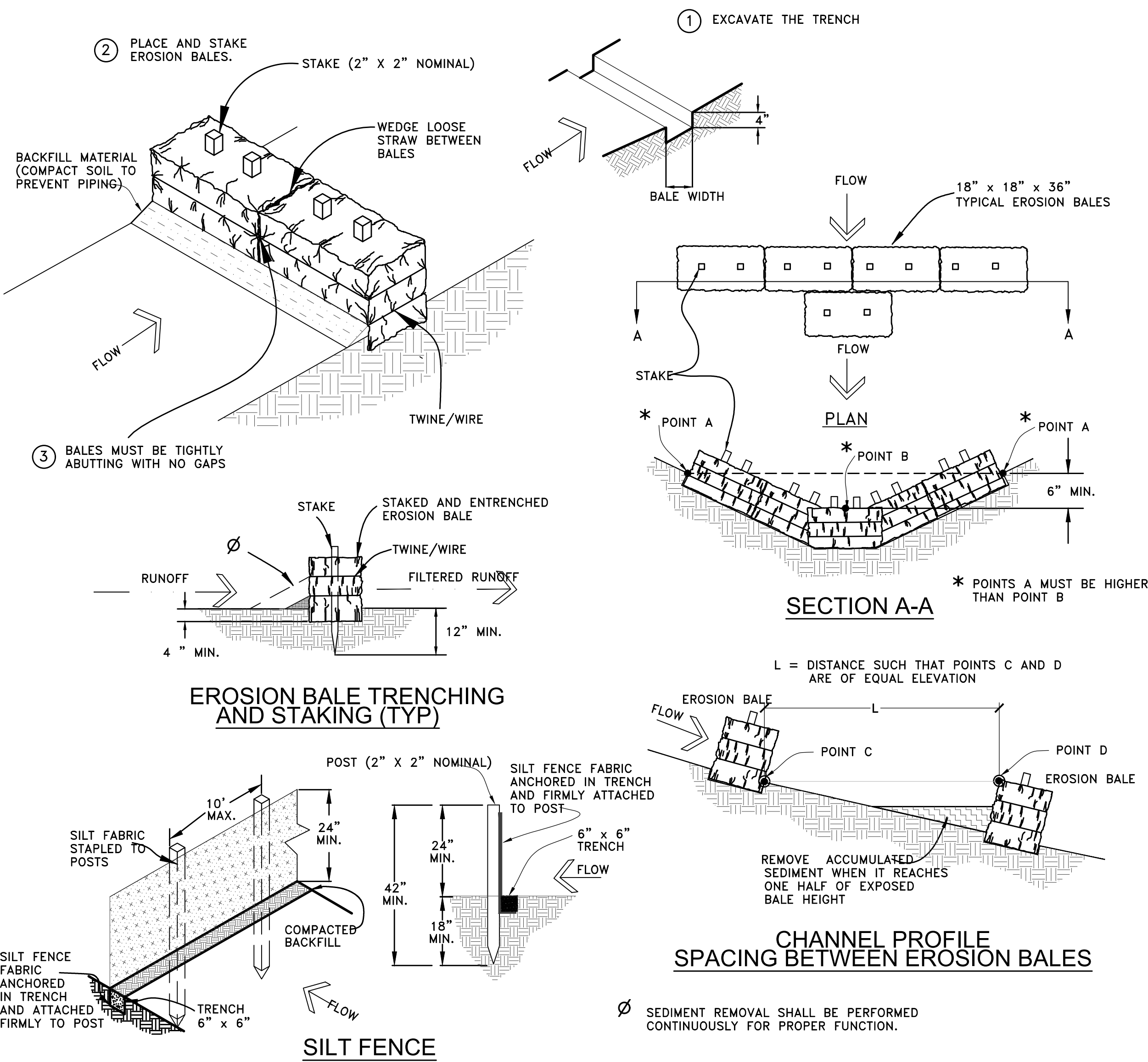




PROPOSED CONSTRUCTION PHASING PLAN  
SCALE: 1/16" = 1'-0"



### SOIL RETENTION BLANKETS



**BRONZINO ENGINEERING, P.C.**

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**ROBERT W. BRONZINO**  
STATE OF NEW YORK  
PROFESSIONAL ENGINEER  
077015

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PROJECT:  
**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**  
375 MAIN STREET  
ARMONK, NY

SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED SITE DETAILS III**

PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20

DRAWING NO:  
**C-014.00**  
SHEET NO:  
**14 OF 15**

B-SCAN







September 14, 2020  
**VIA E-MAIL**

Chairman Carthy and Members of the Planning Board  
Town of North Castle  
15 Bedford Road  
Armonk, New York 10504

Re: ***375 Main Street – Site Plan Approval  
Section 108.03, Block 1, Lot 75***

Dear Chairman Carthy and Members of the Board:

As you know, we represent NY Fuel Distributors, LLC (the “Applicant”) in connection with the above-referenced property (the “Subject Property”). We respectfully submit herewith the following amended plans and supplemental information for your consideration at your upcoming meeting on September 30, 2020.

- Proposed Site Improvement Plans prepared by Bronzino Engineering last revised September 11, 2020:
  - C-001.00: Cover Sheet
  - C-002.00: Existing Site Plan
  - C-003.00: Proposed Site Plan
  - C-004.00: Proposed Grading, Drainage & Utility Plan
  - C-005.00: Proposed Landscaping Plan
  - C-006.00: Proposed Lighting Plan
  - C-007.00: Proposed Fuel Truck Path Plan
  - C-008.00: Proposed Building Floor Plan
  - C-009.00: Proposed Building Elevations I
  - C-010.00: Proposed Building Elevations II
  - C-011.00: Proposed Canopy Elevations & Signage Details
  - C-012.00: Site Details I
  - C-013.00: Site Details II
  - C-014.00: Site Details III
  - C-015.00: Site Details IV



## **Executive Summary**

The Applicant has spent the past few months revising the plans to address the comments of the Town Planner, Engineering Consultant and Traffic Consultant and also communicating with the adjacent property owners and the New York State Department of Transportation. The revisions to the proposed plans are summarized below.

### **Existing Encroachments**

The Applicant has come to an agreement with the neighboring property owner at 1 Kent Place to allow some of the existing encroachments to remain, specifically, parts of a walkway, building, retaining wall and seating area. The existing shed will be removed or relocated to not be on the Subject Property.

### **Site Layout**

The planting strip along the edge of the parking area, trash enclosure, propane and HVAC enclosures have all been modified to accommodate the continuance of the existing encroachments from 1 Kent Place. The fuel pumps have been set back 15-feet from Main Street and the canopy has been set so as not to encroach closer than 8-feet to Main Street (the Applicant has confirmed this is a permitted encroachment with the Building Inspector).

The new sidewalk design along Kent Place has been revised to avoid impacting the existing utility pole and will utilize the same paver design that is utilized in the existing sidewalks on the opposite side of Kent Place and Main Street. The freestanding ID sign location is now within the property boundaries. The location of the side door to the building is now depicted on the site plan. The gravel picnic area has been replaced with a paved surface for easier maintenance.

The Applicant has also received permission from the neighboring property owner to the south at 355 Main Street to utilize a portion of their property for additional landscaping along the rear edge of the building as well as for construction access/staging as needed during the initial construction. Therefore, although the Applicant is proposing architectural treatment of the rear façade already, the existing fence will be removed and arborvitae installed to provide additional natural vegetative screening.

### **Floodplain Development**

The plans have been updated reflect the area of the 100 year floodplain on the Subject Property. A small corner of the proposed structure is located within the floodplain. The plans have been revised to provide floodproofing details for the proposed structure.



## Traffic

The Applicant has revised the proposed plans to make the northerly curb cut on Main Street ingress only. This will allow southbound vehicles on Main Street to enter the site and pull directly into a fueling position without having to pass in front of the convenience store; however, it eliminates egress from the site in close proximity to the intersection. We note that the Town's traffic consultant only recommended that this curb cut operate with right-turn egress only - - the Applicant has gone a step further and eliminated egress from this curb cut altogether.

As requested by the Town's traffic consultant, STOP signs and STOP bars have been added to the site plan at all driveways and all other traffic signage is now shown on the plans. A proposed sight line plan has been added to Drawing No. C-007.00. As can be seen there are unobstructed sight lines for a minimum of 390 feet in either direction along Main Street. To that end, the applicant agrees to maintain the proposed landscaping along the Main Street frontage at a maximum height of three feet. An application has been made to NYSDOT for improvements in the State right-of-way, including landscaping.

The proposed convenience store and gasoline station will operate 24/7. The Applicant agrees to limit fuel deliveries to the late evening and/or overnight periods to minimize conflicts with drivers, pedestrians, and parked vehicles on Kent Place.

As shown on the revised site plan, the radius at the southwest corner of the intersection of Main Street and Kent Place has been increased to improve maneuverability while maintaining the existing traffic signal pole. The crosswalk spanning Kent Place will be restriped in kind by the Applicant in coordination with the Town Engineer and Highway Department.

## Stormwater

The Applicant has revised the proposed drainage plan to accommodate retention of up to the 100 year storm event. The system has an overflow to the existing storm sewer in Kent Place. The site grading is set to pitch all surface runoff towards drain inlets. This will be a marked improvement over the existing uncontrolled conditions on the site.

## Lighting

The site lighting plan has been revised to provide a maximum of 0.5 FTC at the property boundaries and an average of 12 FTC under the canopy. The plan set now includes a detail sheet of all the proposed site lighting fixtures, all of which will be downward facing shielded LED fixtures.



## Wetlands

There will be an increase in impervious surfaces within the 100-foot wetland buffer from the nearby stream. The Applicant is proposing landscaped areas where possible on site; however, the Subject Property is not large enough for the Applicant to achieve a 2:1 mitigation ratio as the total increase is approximately 3,050 square feet and in order to function properly the majority of the site will be improved either with structure or paved surfaces. The Applicant has reviewed potential off-site alternatives for mitigation but all are so far removed from the Subject Property that they would present issues for continued maintenance by the Applicant. Therefore, the Applicant requests payment of a fee-in-lieu pursuant to § 340-9.A(4). The Applicant understands the Town is considering potential improvements to the nearby parking lot on Kent Place and that the fee-in-lieu funds could potentially be earmarked for mitigation stemming from this nearby project.

We look forward to presenting the revised plans to you at your upcoming meeting and resuming the processing of this application. Thank you for your attention to this matter.

Very truly yours,  
HARFENIST KRAUT & PERLSTEIN, LLP

By: Leo K. Napior  
Leo K. Napior